

CHERRY HILLS VILLAGE COLORADO

2450 E. Quincy Avenue
Cherry Hills Village, CO 80113
www.cherryhillsvillage.com

Village Center
Telephone 303-789-2541
FAX 303-761-9386

RESIDENTIAL FENCE AND WALL REQUIREMENTS

This handout provides a summary of building requirements for residential fences and walls in Cherry Hills Village. Please refer to Chapters 16 & 18 of the Municipal Code for the complete set of requirements. For assistance or additional information please contact the Cherry Hills Village Community Development Department at 303-783-2721 or visit the City's website at www.CherryHillsVillage.com.

What Requires a Permit?

All fences and walls require a building permit.

Fence and Wall Permit Submittal Requirements

1. Completed permit application. www.cherryhillsvillage.com/fences
2. Two copies of a scaled site plan (no larger than 24" x 36" in size) showing the following:
 - a. Property boundaries based on an accurate survey.
 - b. Location of the fence or wall to be constructed and all other site improvements.
 - c. Edge of all roadways adjacent to the property if applicable.
 - d. One-foot elevation contours in NAVD 88 datum if the fence is proposed on or across a berm or other unnatural grade.
 - e. Landscaping plan if required for fence location and type.
 - f. 50-foot sight triangles from the road edge if the property is on a corner lot.
 - g. The location of any special flood hazard areas (100-year floodplain) located on the property.
3. Scaled elevation drawing of the fence indicating the overall height, height above natural grade dimensions of all materials.
4. Approval letter from South Metro Fire Rescue Authority for electronic vehicle access gates.

Building Permit and Review Fees

Review fees may be required for fences and walls exceeding 6 ft. in height or for electronically operated gates.

Review Fees:

- \$150.00 per hr., minimum 1 hr.

Building Permit Fees Based on Valuation:

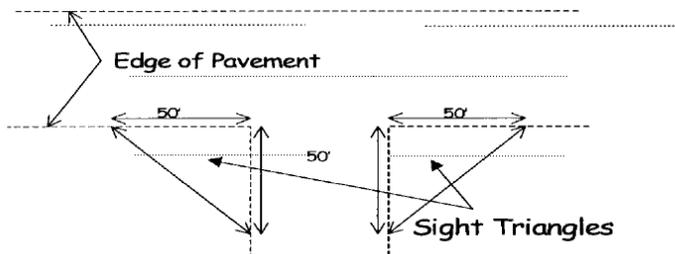
- 1% of Valuation with a minimum fee of \$20.

Use Tax (Paid to Arapahoe County):

- .25% of ½ the Valuation

Visibility at Intersections

No fence, wall or landscaping shall be allowed to impede vision between a height of two and one-half (2 ½) feet and ten (10) feet above the centerline grades of an intersecting street in the area bounded by a site triangle of fifty (50) feet.



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<i>Fence Location/Height and Opacity Standard</i>	<i>R-1</i>	<i>R-2</i>	<i>R-3</i>	<i>R-3a</i>	<i>R-4</i>	<i>R-5</i>
Between Front Façade Line¹ and Front Property Line:						
• 4 ft. max. height and no more than 50% solid.	X	X	X	X		
• No fence allowed.					X	X
Minimum Rear or Side Yards Not Adjacent to Public Roads:						
• 6 ft. max. height and no more than fifty percent 50% solid.	X					
• 6 ft. max. height and up to 100% solid.		X	X	X	X	X
Minimum Rear or Side Yards Parallel to Public Roads:						
• Between 4 ft. and 6 ft. in height if no more than 25% solid; or	X	X	X	X		
• 4 ft. max. height and no more than 60% solid.						
• 4 ft. max. height and up to 100% solid; or						
• Between 4 ft. and 6 ft. in height if no more than 50% solid; or					X	X
• Between 4 ft. and 6 ft. in height and greater than 50% solid subject to setback and landscaping requirements below ² .						
Minimum Rear or Side Yards Perpendicular to Public Roads:						
• 6 ft. max. height and no more than fifty percent 50% solid.	X					
• 6 ft. max. height and up to 100% solid.		X	X	X	X	X
Adjacent to State Highways:						
• 8 ft. max. height and up to 100% solid subject to setback and landscaping requirements below ² .	X	X	X	X	X	X
Adjacent to South Clarkson Street or East Happy Canyon Road:						
• 6 ft. max. height and up to 100% solid subject to setback and landscaping requirements below ² .	X	X	X	X	X	X
Parallel to Public Trails, Parks, or Open Space:						
• 6 ft. maximum height and no more than 40% solid.	X	X	X	X	X	X
Surrounding Sports Courts Other Outdoor Recreational Uses:						
• 10 ft. max. height and no more than 25% solid.	X	X	X	X	X	X
In Primary Building Envelope:						
• 6 ft. maximum height and up to one-hundred percent (100%) solid.	X	X	X	X	X	X

¹Front Façade Definition

Front façade line means a line generally perpendicular to the side property lines emanating from the outer wall of the façade of the house at the point closest to the front property line.

²Setback and Landscape Buffer Requirements

Choose A or B

- A. Pick any two of the following three:
1. Setback fence 25 ft. from edge of paved road or 40 ft. from centerline of unpaved road.
 2. Landscape with minimum of 1 tree every 20-30 ft.
 3. Landscape with plantings to cover 25% of fence surface.
- B. Indent a minimum of 25% of the fence length and two trees or evergreen shrubs within each indent. Indents must be between 15-25 ft. wide and a minimum of 4 ft. in depth.

Columns and Gates

Columns and column/light fixture combinations may exceed the fence height standard by up to 2 ft. Access gates up to a maximum of 18 ft. in width may exceed the fence height standard by up to 4 ft. if no more than 25% solid.

