

CHERRY HILLS VILLAGE
COLORADO

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Village Center
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City Council Agenda
Tuesday, June 3, 2014

6:30 p.m.

1. Call to Order
2. Roll Call of Members
3. Pledge of Allegiance
4. Police Department Accreditation
5. Reports from Members of City Boards and Commissions
6. Audience Participation Period (limit 5 minutes per speaker)
7. Consent Agenda
 - a. Approval of Minutes – May 20, 2014
8. Items Removed From Consent Agenda
9. Unfinished Business
10. New Business
 - a. Public Hearing – Request by St. Mary’s Academy for an Expanded Use Permit to Build a Community Center Building
 - b. Council Bill 3, Series 2014; Amending Sections 2-1-10, 2-1-40, and 2-1-50 of the Municipal Code Concerning Elections (*first reading*)
11. Reports
 - a. Mayor
 - (i) July 1, 2014 Meeting Quorum
 - b. Members of City Council
 - c. City Manager and Staff
 - (i) Planning and Zoning Commission Vacancy
 - d. City Attorney
12. Adjournment

Notice: Agenda is subject to change.
If you will need special assistance in order to attend any of the City’s public meetings, please notify the City of Cherry Hills Village at 303-789-2541, 48 hours in advance.

Minutes of the
City Council of the City of Cherry Hills Village, Colorado
Held on Tuesday, March 20, 2014 at 6:30 p.m.
At the Village Center

The City Council held a study session with Norris Design regarding the Public Works Facility Review at 6:00 p.m.

Mayor Doug Tisdale called the regular meeting to order at 6:30 p.m.

ROLL CALL

Mayor Doug Tisdale, Councilors Mark Griffin, Russell Stewart, Alex Brown, Scott Roswell, Klasina VanderWerf, and Katy Brown were present on silent roll call. Also present were Deputy City Manager and Public Works Director Jay Goldie, City Attorney Linda Michow, Commander Pat Weathers, Finance Director Karen Proctor, Community Development Director Rob Zuccaro, Street Operations Supervisor Josh English, and City Clerk Laura Smith.

Absent: none

PLEDGE OF ALLEGIANCE

Bridget Brown, daughter of Councilor K. Brown, led the Council in the pledge of allegiance.

UPDATE BY CDOT REGION DIRECTOR TONY DEVITO

CDOT Director Tony DeVito presented CDOT's budget with a projection to 2040. He explained various divisions and projects. He reviewed some options for long term funding of street maintenance.

Councilor A. Brown thanked Mr. DeVito for his time. He asked about the Federal highway tax that was set to expire next year.

Mr. DeVito replied that taxes would often be continued by resolution by the legislature for several cycles before any new changes were proposed.

Councilor K. Brown asked about alternative funding sources.

Mr. DeVito replied that other states had vehicle miles tax programs, but no new tax or toll programs suggested so far were popular in Colorado.

Mayor Tisdale noted the roll of public private partnerships with roads in Colorado.

Councilor Griffin asked about potholes on University Boulevard.

Mr. DeVito replied that it had been a tough winter but to let CDOT know and they would repair the potholes.

Councilor Griffin explained that he travelled back and forth to Vail most weekends and noted that the road had been closed over 60 times this past winter. He indicated that the cause was often cars without properly maintained tires and that CDOT neglected to regulate passenger vehicles.

Mr. DeVito noted that CDOT had volume and staffing issues but that they still tried to do outreach and education programs for mountain driving as much as possible.

Councilor Griffin indicated that magnesium chloride was toxic and corrosive to vehicles, bridges and trees.

Mr. DeVito replied that CDOT had used both sand and magnesium chloride to increase safety on winter roads and each had its tradeoffs.

Councilor Griffin noted that Colorado had very high vehicle registration fees.

Mr. DeVito replied that registration fees were used to fund bridge maintenance projects and safety programs.

Councilor Griffin asked about US 36.

Mr. DeVito explained that parts of the highway were failing and more funding was needed.

Mayor Pro Tem Stewart asked about CDOT projects near the City for 2014.

Mr. DeVito described projects at Arapahoe Road and I-25, Santa Fe and Alameda, and 6th Avenue and I-25.

Councilor Roswell asked about the intersection of Belleview Avenue and University Boulevard.

Mr. DeVito replied that the final punch work was being completed.

Mayor Pro Tem Stewart asked about Belleview Avenue and I-25.

Mr. DeVito replied that CDOT was having conversations about that interchange.

MEMBERS OF CITY BOARDS AND COMMISSIONS

There were no reports.

AUDIENCE PARTICIPATION PERIOD

None

CONSENT AGENDA

Mayor Pro Tem Stewart moved, seconded by Councilor Griffin to approve the following items on the Consent Agenda:

- a. Approval of Minutes – May 6, 2014
- b. Resolution 5, Series 2014; Concerning the Appointment of Members to the Board of Adjustment and Appeals
- c. Resolution 6, Series 2014; Concerning the Appointment of Members to the Parks, Trails and Recreation Commission
- d. Resolution 7, Series 2014; Concerning the Appointment of Members to the Public Art Commission
- e. Resolution 8, Series 2014; Appointing Ford H. Wheatley as an Alternate Municipal Judge for the Cherry Hills Village Municipal Court and Approving a Professional Services Agreement for Such Services
- f. Intergovernmental Agreement with the City of Englewood for Fleet Maintenance and Repair
- g. Contract for Services with PLM Asphalt and Concrete Inc. for the 2014 Street Improvement Asphalt Replacement Project
- h. Contract for Services with Thoutt Brothers Concrete Contractors Inc. for the 2014 Street Improvement Concrete Replacement Project

The motion carried unanimously.

ITEMS REMOVED FROM CONSENT AGENDA

None

UNFINISHED BUSINESS**Public Hearing (Continued) – Major Event Permit, Floodplain Development Permit, and Temporary Wireless Communication Facilities for the BMW Golf Championship**

Director Zuccaro explained that the Western Golf Association (WGA) requested review of a Major Event Permit to host the 2014 BMW Championship at Cherry Hills Country Club from September 1 through 7, 2014. The BMW Championship was a PGA Tour event with an expected attendance of up to 27,000 per day on the busiest days. Staging for the event was expected to start June 1st with initial deliveries and equipment to off-site staging areas. Construction and staging on the golf course would take place from June 1st through August 31st. This would include construction and placement of multi-story temporary structures, grandstands, fencing, and installation of various support equipment. He described the five proposed support service sites and the proposed

routes that would be used for attendees and people associated with the event. He noted that University Boulevard would be re-stripped in order to create a drop-off area for buses. He indicated that staff was concerned with attendees parking in the City and described the proposed no-parking sign plan. He reviewed the requests associated with the major event permit, including a permit to temporarily increase the height of the driving range fence from 60 feet to 90 feet for the event.

Director Zuccaro explained that the Planning and Zoning Commission had completed a preliminary review in 2013 and had held a public hearing on April 22, 2014. They recommended approval with conditions. He noted that all these conditions had been met except for outstanding authorization letters regarding Cherry Hills Drive and 3600 S. Clarkson Street. He indicated that staff recommended approval with these two outstanding conditions and two others, that the applicant provide a bond to cover any damage to S. Gilpin Street, and that the applicant submit a proposal for an alternative construction staging area to replace the proposed uses of 3600 S. Clarkson Street and the Ogden Street property.

Mayor Tisdale asked if an alternative staging area would be needed if the applicants provided an authorization letter to use 3600 S. Clarkson Street.

Director Zuccaro replied that use of 3600 S. Clarkson Street was limited by the floodplain so an alternate site would still be required.

Mayor Pro Tem Stewart asked about staff's condition for the applicant's use of 3600 S. Clarkson Street.

Director Zuccaro replied that use of 3600 S. Clarkson Street would be limited by the floodplain if the applicant chose to use it for limited staging because the City's Code does not allow structures in the floodplain that would affect up or down stream flow during a flood event.

Councilor A. Brown expressed concern with the proposed use of light rail and event shuttles to transport the majority of attendees to the event because of the long travel time from light rail station to the Country Club. He asked if any similar events could be examined to determine the actual use of that type of travel situation.

Director Zuccaro replied that he had not examined any similar events but noted the applicant might be able to better address the question.

Councilor A. Brown asked if the applicant was providing any incentive to its attendees to use public transportation.

Director Zuccaro replied that to the best of his knowledge the applicant was only planning to promote the use of public transportation. He added that public transportation information would be included with event tickets and staff had asked that strong language indicating no parking in the City be added.

Councilor A. Brown asked if the City's construction hours and days would apply to the Clarkson Street property if it was used for staging.

Director Zuccaro replied that the City's construction hours and days would be applicable and that staff had notified the applicant of these hours.

Councilor A. Brown indicated he was pleased to see the proposed no-parking sign plan as most of the City's streets were not normally signed. He asked what basis would be used to ticket and tow vehicles that parked on streets that were not signed during the event.

Director Zuccaro replied that signed streets would be enforced by the Police Department, but that unsigned streets could not be enforced. He added that the staff had worked with the applicant to have 200 extra signs that could be placed as needed during the event.

Councilor VanderWerf asked if RTD would be alerted that the Southmoor and Belleview stations may be busier than normal during this event. She also asked if there was a contingency plan if there were not enough event shuttles to accommodate the number of people arriving at Belleview Station.

Director Zuccaro replied that he would defer those questions to the applicant.

Councilor Roswell asked if neighbors of 3600 S. Clarkson Street had been given notice that the property might serve as a support service site.

Director Zuccaro replied that notice had been posted at the site and letters had been mailed to neighbors notifying them of the public hearing being held tonight.

Councilor Roswell asked about the combination of the event with school traffic.

Director Zuccaro replied that the applicant's traffic analysis had considered school traffic to some extent and that the applicant had determined that school traffic did not coincide with the peak traffic times for the event. He deferred to the applicant to address the question further.

Councilor Roswell asked if a plan was in place to advise residents of who to call regarding parking issues so that the Police Department did not get inundated.

Director Zuccaro replied that an event hotline and the main number for the Country Club that would be posted on the City website and in local publications at least a month before the event.

Mayor Tisdale added that the numbers would be posted in CIVC (Crier, Internet, Villager, and Channel 22).

Councilor Roswell expressed concern with event parking and traffic affecting Englewood and the nearby high school and hospital.

Mayor Tisdale suggested that the applicant offer discounts on merchandise as an incentive to attendees to take public transportation.

Chris Manley, Executive Committee for the BMW Championship, thanked City Council, Director Zuccaro, and Commander Weathers for their time and consideration. He addressed several outstanding issues. He explained that the applicant had received the revised development agreement and had no comments. They also had no issue with the bond to cover the chip seal on South Gilpin Street that the City was requesting. He requested that Council remove the condition to provide the last of ten authorization letters from the owners of Cherry Hills Drive for the use of that street as a shuttle route. He explained that the owner lived in California and the applicant had made repeated efforts to contact the owner but had not been successful. He indicated that the applicant planned to use Belleview Station instead of 3600 S. Clarkson Street for their staging site.

Mr. Manley addressed Council's concerns with parking by explaining that the majority of people who had purchased tickets lived to the south of the City and therefore the proposed traffic plan should be a convenient system for attendees to use. He added that the event's shuttles were flexible according to demand. He indicated that the WGA had a long experience with organizing events this size. He noted that a bike depot would be provided to encourage biking.

Vince Pellegrino, WGA Senior Vice President of Tournaments, thanked Council for their time, and echoed Mr. Manley's thanks to Director Zuccaro and Commander Weathers. He explained the mission and history of the WGA and its scholarship program. He gave an overview of the tournament. He requested that Council consider reimbursing some of the excise tax that the City was collecting to cover the cost the applicant was paying to the City for items such as building permits, safety, and security so that more money could go towards their scholarships.

Councilor A. Brown noted that encouraging biking could have the unintended consequence of further parking issues.

Mr. Pellegrino replied that they were working with a PR firm to ensure that parking and traffic restrictions and plans were communicated effectively to everyone involved in the event.

Councilor Roswell asked if the applicants were in contact with the schools.

Mr. Manley replied that they were in contact with St. Mary's, Kent Denver, and Cherry Hills Elementary School. He added that the tee times began at 11am, well after morning drop-off for schools, and the tournament ended each day after school pick-up times.

Councilor Roswell indicated that the City welcomed the tournament.

Mayor Tisdale opened the Public Hearing at 8:18 p.m.

James Hamit, 3800 S. Ogden Street, noted that he also owned 3750 S. Ogden Street. He expressed concerns from himself and his neighbors about the use of the Ogden Street property owned by the Country Club as a staging site for the event. He noted concerns about strangers in the area, structures in the floodplain, traffic and security.

Hearing no other comments, the Public Hearing was closed at 8:25 p.m.

Mr. Pellegrino indicated that they would not use the Ogden Street or Clarkson Street properties for staging.

Councilor Roswell asked about use of the sites for parking.

Mr. Pellegrino replied that the sites would be potentially used for limited storage and parking during the tournament.

Director Zuccaro addressed the applicant's request for reimbursement of excise tax to cover costs to the City with a clarification for Council. He explained that in the Major Event Section of the Municipal Code, Council had the opportunity to reimburse all or a portion of the major event review fee, and that if Council chose to do so this reimbursement could be included in the development agreement and therefore discussion regarding such reimbursement could be warranted to include in tonight's consideration of the application. He added that reimbursement of other items not included in the major event permit review was not provided for by the Code and therefore would be discussed separately from the application.

Mayor Pro Tem Stewart indicated that the request should be considered separately from the application.

Councilor A. Brown reminded Council that they had adopted a Donation Policy which stated that Council would not make donations because they had agreed that it was not appropriate to donate public tax revenue to charities. He suggested that if Council considered the applicant's request they should also revisit the Donation Policy.

Mayor Tisdale asked City Attorney Michow to speak to the difference between reimbursement and donation.

City Attorney Michow indicated that they were different issues and referred to Section 16-21-70(b) of the Code which gave Council discretion to reimburse review fees for major event permits.

Councilor K. Brown asked staff if the applicant's estimate of \$10,000 in building permit fees was accurate.

Director Zuccaro replied that the applicant's escrow account with the City was \$10,000 but the total permit cost was not yet known.

Mayor Tisdale asked if staff was satisfied with the applicant's use of Belleview Station instead of the Ogden Street and Clarkson Street sites for staging.

Director Zuccaro replied that Belleview Station was likely adequate but staff would still request the applicant submit a letter of authorization for use of the site. He added that staff was comfortable with verifying this administratively.

Councilor A. Brown asked if staff was concerned with use of a site outside of the City.

Mayor Tisdale replied that staff still needed verification that the needs of the event were met by the sites chosen by the applicant, whether those sites were inside or outside of the City.

Director Zuccaro added that the Belleview Station site had been identified as a possible staging area early on in the process so staff was familiar with the area. He noted that if staff felt sufficiency of the area was questionable the issue could be brought back to Council for final approval.

Mayor Pro Tem Stewart indicated that conditions 1 and 2 outlined by staff had been addressed by the applicant at this hearing.

Councilor K. Brown moved, seconded by Councilor Griffin to approve the request by the Western Golf Association for Major Event Permit to host the 2014 BMW Championship at Cherry Hills Country Club, and the associated requests for a floodplain development permit and wireless communications facility approval based on the findings and analysis in the May 6, 2014 and May 20, 2014 staff memorandum with the following conditions:

1. Amendment of Section G of the Major Event Agreement to include a requirement that the applicant provide a \$20,000 bond to cover any damage to S. Gilpin Street as a result of the event, as specified in the May 20, 2014 staff memorandum.
2. Submittal of a proposal for an alternative construction staging area that is satisfactory to the City Manager to replace the uses proposed for the 3600 S. Clarkson and Ogden Street properties due to the floodplain restrictions identified in the May 14, 2014 Brown and Caldwell floodplain analysis.

Councilor A. Brown noted that there was no timeframe given for the applicants to fulfill the conditions. He asked if 30 days was sufficient.

Mr. Manley replied that 30 days was sufficient.

Mayor Tisdale suggested the motion be amended to add that the conditions would be met within 30 days.

Councilors K. Brown and Griffin agreed.

Councilor Roswell asked about vehicle parking on the Ogden Street property during the tournament.

Mr. Manley replied that the site would not be for public parking but would be used for trailer storage and ancillary vehicles. He indicated that they would work with staff on the plan for use of the Ogden Street property.

The motion passed unanimously.

Councilor Roswell asked when Council would address the applicant's request for reimbursement.

Mayor Pro Tem Stewart suggested the Council Retreat.

Councilor K. Brown asked when the total permit fees would be known.

Director Zuccaro replied in approximately a month.

Councilor K. Brown indicated that Council could not adequately address the request until the final amount was known.

NEW BUSINESS

None

REPORTS

Members of City Council

Councilor A. Brown reported that he was very happy with Saturday's paint and electronics recycling and shred day. He indicated it was a great service for the community and had been a successful event.

Councilor VanderWerf agreed that Spring Clean Up had been a great success and that staff had been very helpful. She reported that the Public Art Commission (PAC) annual fundraiser would be Sunday, June 1st and that it was about half full. She encouraged Councilmembers to RSVP. She reported that the PAC was using the call for entry website CaFE to search for a Colorado artist to provide their next loaned sculpture for the Village.

Councilor Roswell had no report.

Mayor Pro Tem Stewart agreed Spring Clean Up was a great event.

Deputy City Manager/Director Goldie noted that it had been the biggest turnout since the City had started the program.

Councilor Griffin agreed Spring Clean Up was wonderful.

Councilor K. Brown suggested that signage be added to the City's trails during the BMW Golf Tournament to help direct those attendees who walked or biked. She also noted that staff may need to be vigilant in enforcing the City's short term rental policy. She reported that Quincy Farm Visioning Committee expected to bring its final report to the Parks, Trails and Recreation Commission in June and soon after bring it to Council.

Mayor's Report

Mayor Tisdale reported he had attended DRCOG on May 7th; attended Metro Mayors Caucus on May 7th; attended the Denver Union Station grand opening and ribbon cutting on May 7th; participated in Cherry Hills Village Elementary School's bike building event on May 12th; attended the South Metro Denver Chamber of Commerce meeting; spoke at the dedication ceremony for the Yates Pavilion at Kent Denver; attended a ceremony for South Metro Fire Rescue; would serve on the assessment panel for the selection of a new fire chief; attended the 18th Judicial District Fraud Seminar on May 15th; and attended the Arapahoe County Commissioners, Mayors and Managers Breakfast last Friday. He indicated the Governor would be at the Joint Public Safety Facility tomorrow to sign three bills into law sponsored by Representative Kagan and Senator Newell. He noted the Council Retreat would be May 31st. He reported that he had received a letter from a resident thanking Officers Gunther and Steele for their help in avoiding a scam situation.

City Manager & Staff

Deputy City Manager/Director Goldie reported that Spring Clean Up had been very successful this year and staff was looking into the possibility of holding the event twice a year. He noted that the City had saved money this year because Goodwill had taken all the electronics at no cost to a secure facility and they would recycle the items if they could not resell them. He noted that the dumpsters would remain at the Village Center through May 25th. He reported that the Police Department had assisted Kent Denver with emergency preparation; he had received the CIRSA Safety Manager of the Year Award; staff was in the process of interviewing applicants for the court clerk position; an expanded use permit application for St. Mary's Academy would come to Council at the next meeting; the Police Department had assisted with security for a visit from Speaker of the House John Boehner last weekend; and the monthly financial report and department reports were included in Council packets.

Mayor Pro Tem Stewart asked about the nature of St. Mary's application.

Director Zuccaro clarified that St. Mary's was applying to construct a new building.

Public Works Department Monthly Report

Deputy City Manager/Director Goldie presented his annual department report to City Council. He presented the Public Works Department's mission and vision statements; 2013 statistics; the responsibilities and projects for the streets division and parks division; partnerships with outside organizations; expenditures; ongoing projects; and staff training and education. He discussed the new program to track citizen requests for service; the new right-of-way program; and the accreditation program. He concluded with a review of the department's strengths, weaknesses, opportunities and threats.

Councilor Griffin asked about the comparison of the City's current expenditures on parks and trail maintenance versus what the City paid South Suburban before exclusion.

Deputy City Manager/Director Goldie replied that the City operated at about 50% the cost of South Suburban to maintain the parks and trails.

Councilor A. Brown asked about an updated traffic study/count for the City. He noted significant backup on Quincy Avenue during peak traffic times.

Deputy City Manager/Director Goldie replied that staff was considering a full traffic study in 2015.

Councilor K. Brown suggested that staff explore new ways to build the City's relationship with Denver Water so that the City is notified before trees are cut down along the High Line Canal.

Mayor Tisdale thanked Deputy City Manager/Director Goldie for his work and presentation.

City Attorney

City Attorney Michow indicated that she would give a legislative update to Council at their next meeting. She also noted a Supreme Court decision affecting governmental immunity that she would report on at the next meeting. She indicated that it would be appropriate for Council to solicit alternate judges through an RFP process in order to have an available pool from which to choose in cases where Judge Turre is not able to preside, as was the case resulting in tonight's approval of alternate Judge Wheatley.

Mayor Pro Tem Stewart indicated that an RFP for alternate judges was a good idea.

ADJOURNMENT

The meeting adjourned at 9:36 p.m.

Douglas M. Tisdale, Mayor

Laura Smith, City Clerk

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ITEM: 10a

MEMORANDUM

TO: HONORABLE MAYOR TISDALE AND MEMBERS OF THE CITY COUNCIL

FROM: ROBERT A. ZUCCARO, COMMUNITY DEVELOPMENT DIRECTOR

SUBJECT: REQUEST BY ST. MARY'S ACADEMY FOR AN EXPANDED USE PERMIT TO BUILD AN APPROXIMATELY 22,722 SQUARE-FOOT MULTIPURPOSE COMMUNITY CENTER BUILDING (PUBLIC HEARING)

DATE: JUNE 3, 2014

ISSUE:

Should the City Council approve a request by St. Mary's Academy for an Expanded Use Permit to add an approximately 22,722 square-foot multipurpose building to the campus?

ZONING & LAND USE:

St. Mary's Academy is located at 4545 S. University Boulevard and is zoned R-1, 2 ½-Acre Residential District (see Exhibit A for Vicinity Map). Private schools are an allowed use in the R-1 District provided that such use is approved, expanded or increased in accordance with Article XX of the Zoning Ordinance (Expanded Use Permit). St. Mary's Academy is a private institution with approximately 670 students, grades kindergarten through 12. The campus is 24.67 acres in net area. Surrounding zoning and land uses include R-1 and R-3 zoned residential properties. Access to the property is from multiple driveways connecting to University Boulevard, which borders the campus to the east.

REQUEST:

The applicant requests an Expanded Use Permit to build an approximately 22,722 square-foot, two-story *community center* building. The proposed new building is located south of the existing middle school building, approximately 175 feet from the closest property boundary to the west. The height of the building is proposed at 34 feet and 4 inches above the midpoint elevation. From the finished grade on the west side of the building, the overall height is proposed at 44 feet and 10 inches. Campus-wide, the total finished floor area, including the *community center*, is 166,520 square feet, resulting in a Floor Area Ratio (FAR) of 15.5%. Other site improvements proposed include relocation of a concrete fire lane around the southwest

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portion of the proposed building, sidewalks, landscaping and exterior lighting surrounding the building. The applicant's letter of intent states that the expansion is intended to provide additional space for lower and middle school activities that are currently located in the high school building and to provide dedicated middle school foreign language and music and drama spaces (see Exhibit B for application materials).

The applicant proposes to maintain the current number of parking spaces on campus at 343 and requests a parking reduction of 20%. Based on an analysis of the current and proposed building layout and uses, a total of 427 parking spaces are needed to meet the minimum code requirements. The justification for the reduction is based on the applicant limiting special event use of the Bishop Evan Gym during regular school hours. The Bishop Evan Gym adds 91 spaces to the minimum parking requirements as an assembly space. Municipal Code Section 16-16-10(c) allows an exception to be granted up to 40% of the required parking if it is found that the parking needs of the use will be adequately served.

BACKGROUND:

Planning and Zoning Commission Preliminary Application Review

The Planning and Zoning Commission conducted a Preliminary Application Review on November 12, 2013. The Commission provided the applicant preliminary comments on the proposal (see Exhibit C for minutes).

Planning and Zoning Commission Final Application Review

The Planning and Zoning Commission held a public hearing on May 13, 2014 to review the full application (see Exhibit D for draft minutes). The Commission voted unanimously to recommend approval with the following conditions:

1. Prior to the City Council hearing, the applicant shall provide a note on the site plans and include a provision in the development agreement limiting any special event use of the Bishop Evan Gym during school hours.

Condition Met - The required note has been added to the site plan (Sheet S-0) and a provision included in the development agreement (Sec. 2.2). The site plan note and development agreement have been reviewed and approved by the City Attorney.

2. Prior to the City Council hearing, the applicant shall provide final approval letters from Denver Water, Cherry Hills Village Sanitation District and South Metro Fire Rescue Authority.

Condition Met – Approval Letters have been provided from each of the jurisdictions noted (see Exhibit B).

Although not a formal condition of approval, the Commission requested that the City Attorney confirm that the enrollment limit established with the 1999 Expanded Use Permit would still be in effect with the new proposal. Language approved by the City Attorney to address this comment was added to Section 3.11 of the development agreement.

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Previous Expanded Use Permits

The campus was last expanded in 1999 with the addition of the 37,248 square-foot middle school building. Other buildings on campus include the 68,370 square-foot high school building, 20,592 square-foot lower school building, 7,650 square-foot Bishop Evan Sports Center, 8,352 square-foot Sanders House Administration Building, and 1,530 square-foot caretakers house. With the 1999 expansion, the parking for the schools was increased from 312 to 332 spaces. Based on the parking calculations made at that time, it was determined that the minimum parking requirements were met without the need for approval of a reduction. The enrollment in 1999 was noted as 801 students and a condition of the middle school expansion was that enrollment could not increase by more than 10%, or could not increase less than 10% if that expansion would regularly generate in excess of 100 vehicle trips per day, without further approval through the Expanded Use Permit process.

PUBLIC NOTICE AND COMMENT:

Notice requirements for public hearings are outlined in Municipal Code Subsection 16-2-40(c). A minimum of 15 days prior to the hearing date, the applicant was required to mail notice of the hearing to all adjacent property owners by certified mail with return receipt requested and post a public notice sign on the property facing S. University Boulevard. Notice of the hearing was also published in the May 15, 2014 edition of The Villager newspaper and was posted on the Village Center notice board and Village web site. All notice requirements have been met.

Public Comment:

Staff has received one letter in support of the project from Cherry Hills Country Club (see Exhibit E).

CODE REQUIREMENTS:

Article XX of the City's Zoning Ordinance governs the establishment and expansion of nonprofit institutions, private clubs, public recreational facilities, and nonprofit recreational facilities. Under Section 16-20-40 of the ordinance, the City Council is to review the proposal at a public hearing to determine whether the application meets the requirements of the Zoning Ordinance based on the application and evidence and testimony presented at the public hearing. The City Council may approve, approve with conditions or deny the application, or table the matter to a date certain pending the provision of further information.

The following are staff's finding and analysis for each of the submittal requirements and variance review criteria.

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Submittal Requirements:

16-20-50(1): Letter of intent requesting public hearings in front of the Planning and Zoning Commission and City Council and describing fully the intended use or expanded or increased use of the property.

Complete – The applicant has provided the required letter of intent in Exhibit B.

16-20-50(2): An application fee of three hundred dollars (\$300.00).

Complete – The required application fee has been paid.

16-20-50(3): A site plan which shall be an original drawing in black ink on twenty-four-inch-by-thirty-six-inch media and contain the following information:

a: Project name, type of proposal, legal description of the plan's land area, date of the drawing, scale (one [1] inch = fifty [50] feet or one [1] inch = one hundred [100] feet), north arrow and names and addresses of the owner, planner and surveyor.

Complete – See Sheet S-0 of Site Plan.

b: Vicinity map with north arrow (scale of one [1] inch = two thousand [2,000] feet) with an emphasis on the major roadway network within one (1) mile of the proposal.

Complete – See Sheet S-0 of Site Plan.

c: The existing zoning of the property, as well as the zoning and residential density of all adjacent properties, including yard requirements of the zone districts.

Complete – See Sheet S-0 of Site Plan.

d: The graphic location, dimensions, maximum heights and gross floor area of all existing and proposed structures, the uses to be contained within and the location of entrances and loading points.

Complete – The existing and proposed floor area and building heights are provided on Plan Sheet S-0. The allowed and proposed height of the addition is calculated on Plan Sheet S-3 and includes a proposed height of 34 feet and 4 inches above the center point grade of the structure:

- center point elevation = 5434'
- proposed height = 5468' – 4"
- maximum allowed height 5469' (35' feet above center point)

The addition is approximately 4' – 4" taller than the adjacent middle school building, which was approved by the City in 1999 and constructed to a height of 6464'. At that time, the maximum allowed height was 30'.

The proposed building will have a maximum height of 44' – 10" from the finished grade on the west side of the building, following the existing drop in grade on the west side of the campus.

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e: Historic, existing and proposed contours expressed in one-foot increments based upon the USGS datum.

Complete – Existing contours are provided on Plan Sheet S-1 and proposed contours are provided on Plan Sheet S-2.

f: All proposed curb cut and driveway locations and dimensions, off-street parking locations, dimensions and total numbers by type (full size, compact, handicap, etc.) and types of surfacing, such as asphalt, concrete, etc., in compliance with the provisions of Article 16 of this Chapter, and Chapter 11, Article II of this Code.

Complete – Parking and driveway locations are provided on Sheet S-1. No new parking or driveways are proposed. There are currently 343 paved and striped parking spaces on campus. Based on current and proposed uses, the minimum required parking is 427 spaces. Therefore, there is a shortfall of 84 parking spaces or 20%. Municipal Code Sec. 16-16-10(c) allows a parking reduction of up to 40% if the applicant demonstrates that the parking needs of the use will be adequately served. The applicant requests a reduction based on a limitation of use of the Bishop Evan Gym during the school day, which requires 91 spaces based on minimum zoning requirements for assembly space. Thus, when there is a parking demand for the gym after school hours, parking demands from other uses that occur only during the school hours will not be present. The restriction on use of the Bishop Evan Gym is addressed with a restrictive note on the site plans and in the development agreement.

g: Public and private utility service lines and/or main lines with appurtenances.

Complete – See Sheet S-1 of Site Plan.

h: Location of existing easements of record within one-tenth foot (0.1) of actual location.

Complete – See Sheet S-1 of Site Plan.

i: All walks, open and recreation areas, with a description of these improvements.

Complete – See Sheet S-2 of Site Plan for walkways and landscaped areas around the proposed addition.

j: Location of outdoor trash receptacle systems.

N/A – no new trash facilities are proposed.

k: Provision for access by emergency vehicles.

Complete – A concrete-surfaced fire lane around the southwest side of the building is being relocated to provide adequate emergency vehicle access.

l: Location and dimensions of all existing access points on immediately adjacent properties.

CHERRY HILLS VILLAGE
COLORADO

N/A – Because no new access points are being proposed staff has not requested this item from the applicant.

m: Location and dimension and surface treatment of drainage easements, volume capacity of all drainage ponds and the size of outlet restrictors.

Complete – No drainage easements have been requested by the City Engineer. The applicant has provided an analysis showing that the stormwater detention pond constructed for the 1999 middle school addition provides the required detention volume to accommodate the proposed *community center* addition.

n: An illustrative landscape plan showing locations and general types of all proposed landscaping materials, including fences, walls, planters and any other landscaping features.

Complete – See Sheet S-2 of Site Plan for illustrative landscape plan. Retaining walls will be installed south of the proposed addition. Surrounding the proposed building are several concrete walkways, turf areas, and planting beds with shrubs and trees.

o: A signage plan describing and illustrating the size, location, type and material of all signs, in compliance with the provisions of Article XV of this Chapter.

N/A – No signage is proposed.

p: Location, type and height of lighting devices, in compliance with Article XVI of this Chapter.

Complete – The location, fixture details and photometric light levels of the proposed exterior lighting are provided on Plan Sheet S-7. The fixtures meet the City's current standards for full-cutoff fixtures, maximum lumen output and maximum light level at adjoining property lines.

q: Representative architectural elevation plans of all sides of proposed structures which show building heights, colors and general textures of materials to be used on the exterior of the building.

Complete – Building elevations are provided on Plan Sheets S-4, S-5 and S-6.

r: Applicable notes and certifications approved by the City Attorney, which regulate the development.

Complete – The notes and certificates have been reviewed and approved by the City Attorney, including the Planning and Zoning Commissions recommended condition limiting use of the Bishop Evan Gym during school hours as part of the parking reduction request.

s: Planning and Zoning Commission and City Council signature blocks.

Complete – See Sheet S-0 of Site Plan.

t: Owners of record signature block.

Complete – See Sheet S-0 of Site Plan.

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COLORADO

16-20-50(4): *Phase III drainage report conforming to the requirements of the "Arapahoe County Storm Drainage Design & Technical Criteria."*

Complete – The proposed *community center* will add an additional 17,000 square feet of impervious surface to the campus. The developed runoff from the expansion will drain into the existing detention pond, which has available capacity without further expansion. The applicant's engineer has inspected the pond and certifies the functionality and capacity of the pond.

16-20-50(5): *Traffic impact study conforming to the requirements of Article XVI of this Chapter.*

Complete – A traffic study has been provided. A traffic count along S. University Boulevard was conducted to compare to data from 1999. The study finds that daily traffic volume and peak time traffic volumes have decreased over this period. The study also notes that basic traffic patterns at the entrances and exits to the campus are the same as in 1999, but that improvements have also been made to the configuration of the lower school lot that have expanded capacity on site; thus, reducing vehicle queuing on S. University Boulevard.

16-20-50(6): *Cost estimate of public improvements such as sidewalks, roadway and/or drainage improvements, etc.*

N/A – No public improvements are proposed.

16-20-50(7): *An appropriate number of eleven-inch-by-seventeen-inch reductions of the site plan as determined by the Community Development Director.*

Complete – Site plans have been provided for review.

16-20-50(8): *A letter from the appropriate water and sanitation districts, South Metro Fire and Rescue and the Colorado Department of Transportation (if property contains access to a state highway) stating the ability to serve the proposal.*

Complete – The original referral letters are attached as Exhibit F. The Colorado Department of Transportation has no comment on the proposal. Denver Water, Cherry Hills Village Sanitation District and South Metro Fire Rescue Authority have provided comments which have been addressed and final approval letters provided to the applicant (see Exhibit B for approval letters).

16-20-50(9): *Additional information as requested by the Community Development Director as appropriate to the request. Information required above may be waived by the City Manager if it is deemed to be inappropriate to the request.*

N/A – No additional information has been requested.

16-20-50(10): *A development agreement between the applicant and the City defining terms and conditions of approval. The site plan, landscape plan, building plan, phase III drainage report and traffic report shall become part of the development agreement. If approved, the City will record the*

**CHERRY HILLS VILLAGE
COLORADO**

development agreement and attachments and charge the fees for recording to the escrow account of the applicant.

Complete – The proposed development agreement is included with the application materials in Exhibit B. The Planning Commission’s condition that the restriction on use of the Bishop Evan Gym for special events during regular school hours has been added (Sec. 2.2). Language has also been added at the request of the Planning and Zoning Commission to ensure that the enrollment limit approved with the 1999 Expanded Use Permit is still in effect (Sec. 3.11). The City Attorney has reviewed and approves the form of the agreement.

RECOMMENDATION:

Staff recommends approval of the proposal by St. Mary’s Academy for an Expanded Use Permit to add an approximately 22,722 square-foot multipurpose community room building to the campus as proposed.

RECOMMENDED MOTION:

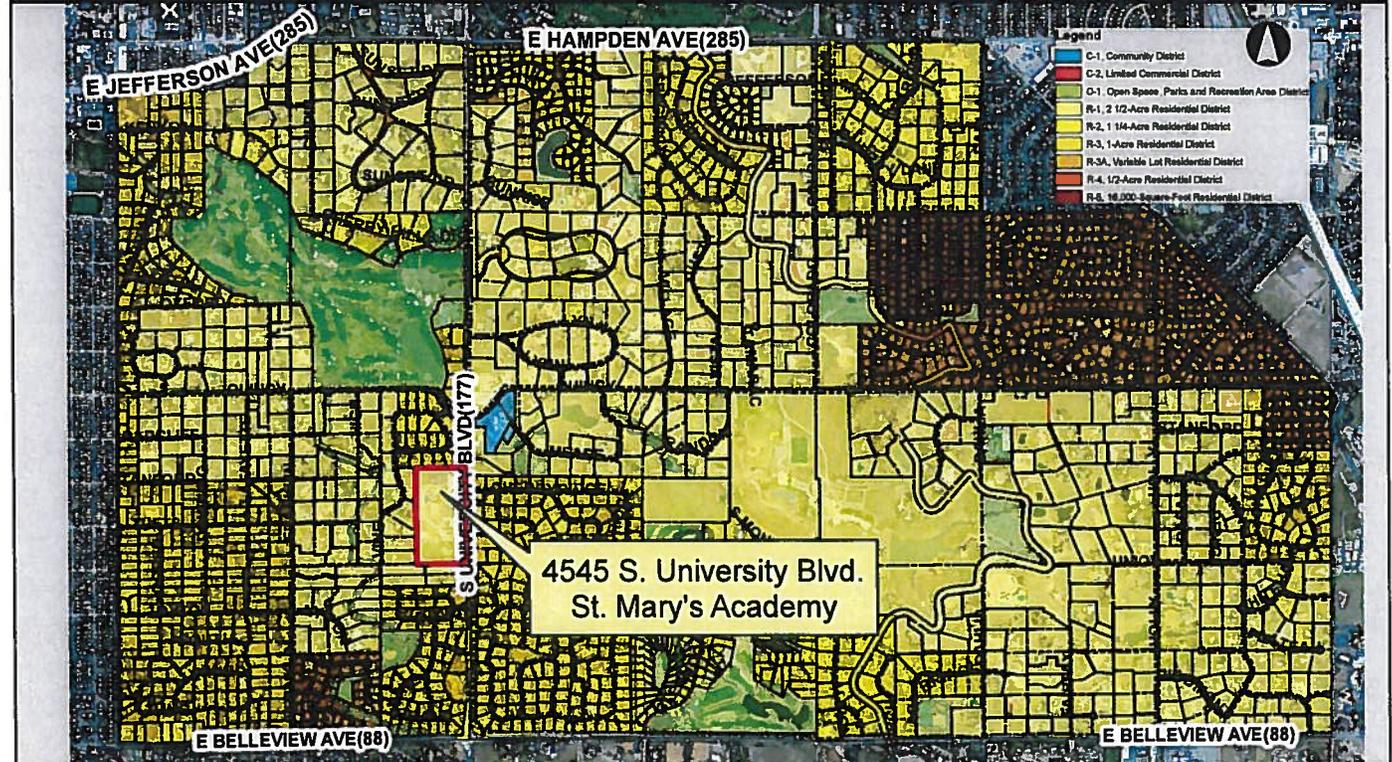
“I move to approve the proposal by St. Mary’s Academy for an Expanded Use Permit to add an approximately 22,722 square-foot multipurpose community room building to the campus as proposed based on the findings and analysis in the June 3, 2014 staff memorandum.”

ATTACHMENTS:

- Exhibit A: Vicinity Map
 - Exhibit B: Application Materials
 - Exhibit C: November 12, 2013 Planning and Zoning Commission Minutes
 - Exhibit D: Draft May 13, 2014 Planning and Zoning Commission Minutes
 - Exhibit E: Comment Letter
 - Exhibit F: Referral Agency Comment Letters
-

St. Mary's Academy Vicinity Map

Exhibit A



1101 Bannock Street
Denver, Colorado 80204
303.892.1166



May 29, 2014

Rob Zuccaro, Community Development Director
City of Cherry Hills Village
2450 E. Quincy Avenue
Cherry Hills Village, CO 80113

Dear Mr. Zuccaro:

We are excited to submit the Expanded Use Permit application for the new Community Center at St. Mary's Academy. St. Mary's Academy serves students from pre-kindergarten through 12th grades with a total enrollment of 670 students. New facilities are needed to address technology, space as well as curriculum needs. The new Community Center will allow St. Mary's Academy to offer the following to its students:

- Learning and teaching spaces to reflect today's best thinking and planning related to education
- Additional instructional space, especially for lower and middle school activities that are currently located in the high school building
- Middle school foreign language programs will benefit by having dedicated classroom space, and instructional time in Spanish classes will increase by an estimated 32 hours
- Music and drama programs will be enhanced with dedicated space and modern facilities
- A commons area for lower and middle school students to eat lunch

Groundbreaking for the new Community Center building is planned for May 2014. The Community Center should be open for students when they return to school in August of 2015. In addition to this Letter of Intent, the application includes the following:

1. Application and Review Services Fees
2. Draft Development Agreement
3. Expanded Use Permit Plan Set
4. Drainage Letter with Pond Volume Verification
5. Traffic Impact Update Letter
6. Parking Reduction Waiver Justification
7. Denver Water Service Letter

Approvals from Denver Water, South Metro Fire, and Cherry Hills Sanitation District will be submitted as soon as they are received. In addition, there are no new public improvements required for the construction of the Community Center therefore, a cost estimate for public improvements has not been included as part of this application.

This new Community Center at St. Mary's Academy is intended to primarily serve the existing student population, with improvements to the campus that will enrich the learning environment, continuing to provide excellence in education while supporting the social, emotional, and spiritual development of the students.

We look forward to working with you on this project which we think will be an asset to the community of Cherry Hills Village.

Sincerely,

A handwritten signature in black ink that reads "Diana Rael". The signature is written in a cursive, flowing style.

Norris Design
Diana Rael, RLA, Principal

**CITY OF CHERRY HILLS VILLAGE, COLORADO
DEVELOPMENT AGREEMENT
ST MARY'S ACADEMY COMMUNITY CENTER
PROJECT**

THIS DEVELOPMENT AGREEMENT ("Agreement") is entered into and made between **ST. MARY'S ACADEMY OF THE SISTERS OF LORETTO** whose address is 4545 S. University Boulevard, Cherry Hills Village, Colorado 80113, hereinafter referred to as "SMA," and the **CITY OF CHERRY HILLS VILLAGE, COLORADO**, a Colorado home rule municipal corporation whose address is 2450 East Quincy Avenue, Cherry Hills Village, Colorado 80113, hereinafter referred to as the "City." SMA and the City shall collectively be referred to as the "Parties."

This Agreement shall be effective following execution by SMA and immediately upon the date of the authorized execution of this Agreement by the City's Mayor or Mayor Pro Tem.

RECITALS AND PRESENTATIONS:

WHEREAS, SMA represents that it is the sole owner of the following described property located in the City of Cherry Hills Village, County of Arapahoe, State of Colorado:

The St. Mary's Academy campus commonly addressed and known as 4545 S. University Boulevard, Cherry Hills Village, Colorado, and as more particularly described in the legal description attached as Exhibit A (hereinafter referred to as the "Property"); and

WHEREAS, SMA is planning the development and/or improvement of a portion of the Property for an addition of a 22,722 square foot community center building ("Community Center") proposed to provide improved space for educational activities that are currently occurring in existing facilities elsewhere on the Property as more thoroughly described in an application for approval of an expanded use permit submitted on or about January 16, 2014, such application being authorized by Article XX, Chapter 16 of the Municipal Code for the City of Cherry Hills Village ("Municipal Code"); and

WHEREAS, as set forth in the Application, as hereinafter defined, the existing facilities are inadequate for the current and planned educational activities occurring within the Property; and

WHEREAS, SMA seeks to develop the Community Center in order to add additional instructional space, assembly space for lower and middle school students, and additional space which may be dedicated for enhanced music and drama programs; and

WHEREAS, in conformance with Section 16-20-50(10) of the Municipal Code, a development agreement shall be entered into between the applicant and the City defining terms and conditions of approval; and

WHEREAS, as a condition to the City's approval of the Community Center and as more particularly set forth in this Agreement, SMA voluntarily agrees to limit the scheduling of "Concurrent Events," as hereinafter defined, on the Property in order to mitigate parking and traffic concerns associated with the Application; and

WHEREAS, the Parties desire to document and memorialize the terms and conditions that will govern the development and the future operation of the Community Center and Property.

NOW, THEREFORE in consideration of the mutual promises, covenants, and agreements to the Parties, the approval by the City of the Application, and other good and valuable considerations, the sufficiency and adequacy of which are hereby acknowledged by the Parties, the Parties agree as follows:

1.0 DEFINITIONS.

- “Application” shall mean the application for the approval of an expanded use permit submitted to the City by SMA on or about January 16, 2014, including supporting plans, documents, mapping, drawings, landscape plans, building elevations, lighting plan, and other illustrations titled “St. Mary’s Academy Community Center Expanded Use Plan”.
- “Concurrent Events” shall mean two or more assemblies, plays, concerts, games, tournaments, lectures, sporting events, or other special events that occur on the Property on the same day with overlapping times.
- “Project Area” shall mean that portion of the SMA Property subject to the Application involving the development and/or improvement of a portion of the Property for a new Community Center and other related improvements as more thoroughly described in the Application submitted to the City by SMA pursuant to Article XX, Chapter 16 of the Municipal Code for the City of Cherry Hills Village.

2.0 USE AND OPERATION OF SMA PROPERTY.

- 2.1 Parking Requirements. In conformance with the Application, the Community Center will not cause the total number of parking spaces on the Property to be less than 343 spaces. The total number of parking spaces on the Property shall not be reduced below 343 spaces during the term of this Agreement.
- 2.2 Limitation on Concurrent Events. SMA shall not program, schedule or conduct Concurrent Events on the Property that will cause the parking demands for the combined Concurrent Events to exceed the parking capacity of 343 spaces on the Property. In order to ensure that the limitation on Concurrent Events set forth in this Section 2.2 is adequately met, SMA specifically agrees that the Bishop Evan gymnasium located on the Property shall not be used for Concurrent Events during school hours of operation.
- 2.3 Construction of Community Center/Building Permit. SMA shall construct the Community Center proposed by the Application in accordance with all applicable laws, including the adopted uniform building, construction, fire, and safety codes of the City of Cherry Hills Village.
- 2.4 Exterior Lighting. The proposed lighting associated with the Community Center must comply with the provision of the Municipal Code and specifically for “Lighting

of parking areas for public, semipublic, commercial or other nonresidential area” as outlined in Section 16-16-20 of the Municipal Code, as amended from time to time.

- 2.5 Noise. SMA’s use of the Project Area shall comply with applicable noise and/or nuisance regulations of the City of Cherry Hills Village, as now existing or as may be later amended or adopted by the City.
- 2.6 Landscaping. SMA shall install and maintain in a living and healthy condition all landscaping described in the Application. Any dead, diseased, or unhealthy landscaping materials shall be promptly replaced with materials of like kind and size.

3.0 MISCELLANEOUS PROVISIONS.

- 3.1 Delays. The Parties have executed this Agreement such that completion of the improvements described in the Application shall be subject to strikes, accidents, acts of God, weather conditions which justify a delay of construction in light of standard practices in the building profession, inability to secure labor, fire regulations or restrictions imposed by any government or governmental agency, or other delay resulting from events which are beyond the control of the delaying party.
- 3.2 Waiver. A waiver by any Party to this Agreement of the breach of any term or provision of this Agreement shall not operate or be construed as a waiver of any subsequent breach by either Party.
- 3.3 No Waiver of Government Immunity. Nothing in this Agreement shall be construed to waive, limit or otherwise modify any governmental immunity that may be available by law to the City of Cherry Hills Village, its officials, employees, contractors, or agents, or any other person acting on behalf of the City and, in particular, governmental immunity afforded or available pursuant to the Colorado Governmental Immunity Act, Title 24, Article 10, Part 1 of the Colorado Revised Statutes.
- 3.4 Binding Effect. The Parties hereto agree that this Agreement, by its terms, shall be binding upon the successors, heirs, legal representatives, and assigns thereof and shall constitute covenants running with the Property. To the extent permitted by law, SMA and all successor owners of the Property shall be bound by the terms, conditions, and obligations set forth in this Agreement.
- 3.5 No Third Party Beneficiaries. It is expressly understood and agreed that enforcement of the terms and conditions of this Agreement, and all rights of action relating to such enforcement, shall be strictly reserved to the City and SMA, and nothing contained in this Agreement shall give or allow any such claim or right of action by any other third person on such Agreement. It is the express intention of the City and SMA that any person other than the City or SMA receiving services or benefits under this Agreement shall be deemed to be an incidental beneficiary only.
- 3.6 Remedies and Enforcement. Any activity or use of the Property that does not comply with the terms of this Agreement constitutes a violation of the City’s approval of the Application for an expanded use permit and a violation of the Municipal Code. In addition to any other rights or remedies provided by law, the City may initiate any

one or more of the following actions: (1) delay processing of any pending land use application; (2) issue stop work orders; (3) refuse to issue or approve any land development permit including but not limited to building permits, right-of-way permits, or certificates of occupancy; (4) issue a citation to SMA or any contractor for violating the requirements of the Municipal Code; or (5) initiate legal proceedings in any appropriate court of law.

- 3.7 Attorney's Fees. Should any legal action be brought by City against SMA to enforce this Agreement and the City is the prevailing party in such action, SMA shall pay the City's reasonable costs and attorney's fees incurred in the enforcement of the terms, conditions, and obligations of the Agreement.
- 3.8 Assignment And Release. All or part of the rights, duties, obligations, responsibilities, or benefits set forth in this Agreement shall not be assigned by SMA without the express written consent of the City, which consent will not be unreasonably withheld or delayed.
- 3.9 Paragraph Captions. The captions of the paragraphs are set forth only for the convenience and reference of the Parties and are not intended in any way to define, limit or describe the scope or intent of this Agreement.
- 3.10 Severability. Invalidation of any of the provisions of this Agreement or any paragraph, sentence, clause, phrase, or word herein or the application thereof in any given circumstance shall not affect the validity of any other provision of this Agreement.
- 3.11 Integration and Amendment. This Agreement represents the entire agreement between the Parties concerning this Application and there are no oral or collateral agreements or understandings concerning this Application. This Agreement shall not supersede or amend previously approved development agreements between the City and SMA, including but not limited to that certain development agreement dated September 21, 1999, in which a 10% increase over 801 students will trigger the requirement for SMA's processing of an expanded use permit in accordance with the Municipal Code. This Agreement may be amended only by an instrument in writing signed by the Parties.
- 3.12 Incorporation of Exhibits. Unless otherwise stated in this Agreement, exhibits referenced in this Agreement shall be incorporated into this Agreement for all purposes. Application materials, construction plans, plats, and other documentation referenced in this Agreement are public records on file and available for review at the City of Cherry Hills Village, Village Center, 2450 East Quincy Avenue, Cherry Hills Village, Colorado.
- 3.13 Review of Referenced Documents. SMA hereby understands and acknowledges that the public documents referenced in this Agreement, including but not limited to the Cherry Hills Village Municipal Code, were, prior to the execution of this Agreement, and are presently, available for review and inspection at the Cherry Hills Village City Hall, 2450 East Quincy Avenue, Cherry Hills Village, Colorado during regular

business hours. SMA has reviewed such documentation, or elected not to review such documentation, prior to execution of this Agreement.

- 3.14 Notices. Any notice required or permitted by this Agreement shall be in writing and shall be deemed to have been sufficiently given for all purposes if sent by United States Mail, postage and fees prepaid, addressed to the party to whom such notice is to be given at the mailing address for such party, or at such other address as has been previously furnished in writing, to the other party or parties. Such notice shall be deemed to have been given three business days after being deposited in the United States Mail.
- 3.15 Authority. The undersigned signatories represent that they have the authority to execute this Agreement on behalf of their organizations and to contractually bind their respective organizations.
- 3.16 Recordation. In accordance with Section 16-20-50(10) of the Municipal Code, the City shall record this Agreement in the real property records of the Clerk and Recorder of Arapahoe County; such recordation fees to be paid by SMA.

DATED THIS _____ DAY OF _____, 2014.

CITY OF CHERRY HILLS VILLAGE, a
Colorado home rule municipal corporation

By: _____
Douglas M. Tisdale, Mayor

ATTEST:

APPROVED AS TO FORM:

Laura Smith, City Clerk

Linda Michow, City Attorney

LORETTO

ST. MARY'S ACADEMY OF THE SISTERS OF

By: _____

Printed Name: _____

Title/Position: _____

STATE OF COLORADO)
) ss.
COUNTY OF _____)

Acknowledged before me this ____ day of _____, 2014, by _____,
as _____ of ST. MARY'S ACADEMY OF THE SISTERS OF
LORETTO.

Notary

My Commission Expires: _____
(SEAL)

EXHIBIT A
LEGAL DESCRIPTION

Lot 1, Block 1, St. Mary's Academy, 1st Filing

Total Parcel Size: 24.67 Acres



January 16, 2013

Rob Zuccaro, Community Development Director
City of Cherry Hills Village
 2450 E. Quincy Avenue
 Cherry Hills Village, CO 80113

Dear Rob:

The following is a justification request for the 20% parking reduction:

- The chart attached shows a need for a 20% parking reduction as follows:
 - Total required parking for all buildings = 427
 - Total provided parking for all buildings = 343
 - Total difference = 84
- Four (4) existing buildings on campus include auditorium, gym or commons spaces as follows:
 - Lower School Gym = 48 spaces
 - Middle School Commons = 16 spaces
 - High School Forum = 31 spaces
 - Bishop Evans Gym = 91 spaces
- The Bishop Evans gym is not used for school events until after the school day ends, therefore 91 spaces are available for the campus use throughout the school day which addresses the 84 space deficit as indicated in the analysis.

We look forward to working with you on this project which we think will be an asset to the community of Cherry Hills Village.

Sincerely,

Norris Design
 Diana Rael, RLA, Principal

St Mary's Academy
Parking Analysis
 January 6, 2014

EXISTING BUILDINGS	QUANTITY	AMT REQ'D
LOWER SCHOOL		
Classrooms (1 per each)	18	18
Offices (1 per 300 sf)	330	1
Auditorium (1 per 100 sf)	4800	48
Subtotal		67
MIDDLE SCHOOL		
Classrooms (1 per each)	15	15
Offices (1 per 300 sf)	350	1
Auditorium (1 per 100 sf)	1600	16
Subtotal		32
HIGH SCHOOL		
Classrooms (5 per each)	25	125
Offices (1 per 300 sf)	3597	12
Auditorium (1 per 100 sf)	3058	31
Subtotal		168
BISHOP EVANS		
Auditorium (1 per 100 sf)	9082	91
Subtotal		91
SANDERS HOUSE		
Classrooms (1 per each)	1	1
Offices (1 per 300 sf)	4023	13
Subtotal		14
CARETAKER RESIDENCE		
Dwellings (2 per each)	1	2
Subtotal		2
TOTAL REQUIRED FOR EXISTING BUILDINGS		374

PROPOSED BUILDINGS	QUANTITY	AMT REQ'D
COMMUNITY BUILDING - PROPOSED		
Classrooms (1 per each)	9	9
Offices (1 per 300 sf)	580	2
Auditorium (1 per 100 sf)	4151	42
Subtotal		53
TOTAL REQUIRED FOR PROPOSED BUILDINGS		53

GRAND-TOTAL REQUIRED FOR ALL BUILDINGS	427
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EXISTING CAMPUS PARKING PROVIDED		
Lower School Parking Area		50
High School / Middle School Parking Area		285
Sanders House		6
Caretaker House		2
TOTAL		343

DIFFERENCE	84
PARKING REDUCTION REQUIRED	20%



March 10, 2014

Mr. Rob Zuccaro
Community Development Director
City of Cherry Hills Village
2450 E. Quincy Avenue
Cherry Hills Village, CO 80113

Re: Existing Traffic Conditions
St. Mary's Academy – Community Center
FHU Ref. 114092-01

Dear Mr. Zuccaro:

In the Traffic Assessment dated January 6, 2014, prepared by Felsburg Holt & Ullevig, data were provided that suggested the detailed traffic study prepared for the St. Mary's Academy (SMA) Campus Expansion in 1999 is still applicable for understanding the potential traffic impacts of the proposed Community Center. As requested by Mr. Troy Carmann, City Engineer for Cherry Hills Village, we have conducted a traffic count program and have observed traffic operations at SMA to supplement the Traffic Assessment and to accurately document existing traffic conditions at the school campus. This letter documents the data collected and summarizes the findings of this effort.

Data Collection Program

The traffic counting program was conducted by All Traffic Data Services, Inc. on Wednesday, March 5, 2014. Data were recorded for the entire day using a tube counter located on University Boulevard in the approximate location of the RTD bus stop adjacent to the high school and video cameras positioned at the entrances and exits of both the South Lot near the lower school and the North Lot serving the middle and high schools. The volumes on University Boulevard were compiled in 15-minute periods for the entire day, and turning movement data were reduced in 15-minute increments for the periods of 7:00 – 9:00 am and 2:30 – 6:00 pm. These periods were chosen based on the hours of school operations and after-school activities. All of the data tabulation sheets are attached for your reference.

In addition, traffic engineers from Felsburg Holt & Ullevig observed traffic operations at the entrances and exits during the morning and afternoon peak periods.

Summary of Data

University Boulevard Traffic

Table 1 provides a summary comparison of the traffic volumes on University Boulevard as recorded in 1999 and as recorded on March 5, 2014. As shown, the daily volume has decreased by approximately 25 percent to 29,140 vehicles per day (vpd). Similarly, the traffic during each of the peak periods assessed in relation to the school operations has also decreased significantly (30 to 35 percent). The directional split in traffic during these periods remains relatively consistent.

Table 1. University Boulevard Traffic Volumes

	1999	2014
Daily	38,800 vpd	29,140 vpd
7:15 – 8:15 am		
Southbound	1,240 vph	1,057 vph
Northbound	2,285 vph	1,254 vph
Total	3,525 vph	2,311 vph
2:45 – 3:45 pm		
Southbound	1,720 vph	1,100 vph
Northbound	1,435 vph	923 vph
Total	3,155 vph	2,023 vph
5:00 – 6:00 pm		
Southbound	2,000 vph	1,468 vph
Northbound	2,070 vph	1,342 vph
Total	4,070 vph	2,810 vph

Traffic at SMA Entrances/Exits

When reviewing the data at the two entrances and two exits at the campus, it should be noted that the school has shifted the start and end times of the three schools on the campus to spread the traffic over a longer period. Table 2 provides a summary of the school hours of operation in 1999 and today; the biggest change is in the high school hours.

Table 2. Summary of School Hours of Operation

School	1999	2014
Lower School	8:05 am – 3:05 pm	8:00 am – 3:00 pm
Middle School	7:50 am – 3:05 pm	7:55 am – 3:15 pm
High School	7:50 am – 3:05 pm	8:30 am – 3:45 pm

Figure 1 illustrates the turning movement counts recently recorded at each entrance and exit. The volumes depicted on the graphic illustrate the morning peak period, the afternoon peak period, and a period later in the day which reflects traffic associated with after-school activities and coinciding with peak traffic on University Boulevard. Note that these reflect the true peak volumes at each location and the time periods differ for the different locations. Thus, when one combines these volumes (as shown in **Figure 1**), the total reflects a combination of the highest volumes, which will be greater than the volumes in any given hour.

If one compares the volumes shown on **Figure 1** with those of **Figure 3** in the 1999 traffic study, the following findings can be noted:

- The total volumes in and out during the morning peak periods are nearly identical.
- The afternoon peak period volumes are somewhat higher (although the combined times now spread over a two-hour period instead of one hour).
- The after-school traffic was significantly over-estimated in the 1999 traffic study.
- In both years, the north drives handle 1.5 times as much traffic as the south drives.
- There has been a shift in the directional distribution of traffic to/from the campus on University Boulevard. In the past slightly more traffic (56%) was to/from the south; now there is a higher portion (54%) to/from the north.

Other Observations

The basic traffic patterns at the entrances and exits are the same today as they were in 1999. However, significant improvements have been made to the configuration of the lower school lot to improve its operations; specifically, two lanes are now available to queue pick-up/drop-off vehicles on-site, thus expanding the storage space on-site and reducing the need for vehicles to queue on University Boulevard.

As a result, the South Lot was observed to operate efficiently during peak times. In the afternoon, because parents tend to arrive early to collect their students, they fill the parking lot and the queues still extend to University Boulevard. This is short-lived, however. Queues on University Boulevard begin to appear at 2:59 pm, and all queues were gone by 3:12 pm. In the southbound direction, the longest queue observed in the right turn lane on University Boulevard was 12 vehicles, compared to 15 vehicles in 1999. There were no southbound queues observed in the morning peak. In the northbound direction, the longest queues observed in the left turn lane on University Boulevard were 6 vehicles in the morning and 7 vehicles in the afternoon. These queues compare to 12 vehicles and 19 vehicles observed in 1999, showing a significant improvement.

Exiting vehicles never exceeded a total of 3 vehicles in either of the two outbound lanes in the lot during either the morning or the afternoon peak periods. Observations suggest that this is because the process for dropping off or picking up students tends to serve as a traffic metering mechanism.

The entrance at the North Lot functions very efficiently because the drop-off and pick-up location is behind the high school, well removed from University Boulevard. No southbound right turn queues were ever observed. In the northbound direction in the left turn lane on University Boulevard, the maximum queues observed were 5 vehicles in the morning and 3 vehicles in the afternoon. These queues cleared quickly as gaps in the southbound through traffic were created by the signal at Quincy Avenue.

Mr. Rob Zuccaro
March 10, 2014
Page 4

The northern exit also functions well. The maximum queues were observed in the afternoon when the high school day ended. The longest queue observed included a total of 12 cars in the two exiting lanes (8 headed northbound, and 4 headed southbound). This compares to 22 vehicles queued in the 1999 traffic study. Queues dissipated quickly (never lasting more than several minutes) because left-turning vehicles can use the median lane, right-turning vehicles can use the acceleration/deceleration lane, and the signal at nearby Quincy Avenue creates gaps in the southbound traffic on University Boulevard.

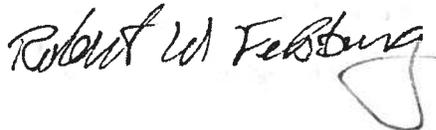
Summary

These data all indicate that traffic conditions at SMA have improved since 1999, even with the addition of the new, larger middle school. Traffic volumes on University Boulevard have declined, the changing of school hours has resulted in spreading the demand on the entrances and exits, and the reconfiguration of the lot at the lower school has created a more efficient drop-off/pick-up function, resulting in shorter queues on University Boulevard.

I trust that this letter and the attached data will fulfill the request of Mr. Carmann. If you have any questions regarding this submittal, please feel free to call me.

Sincerely,

FELSBURG HOLT & ULLEVIG

A handwritten signature in black ink that reads "Robert W. Felsburg". The signature is written in a cursive style with a large, looped "F" and "B".

Robert W. Felsburg, P.E.
Principal

Attachments

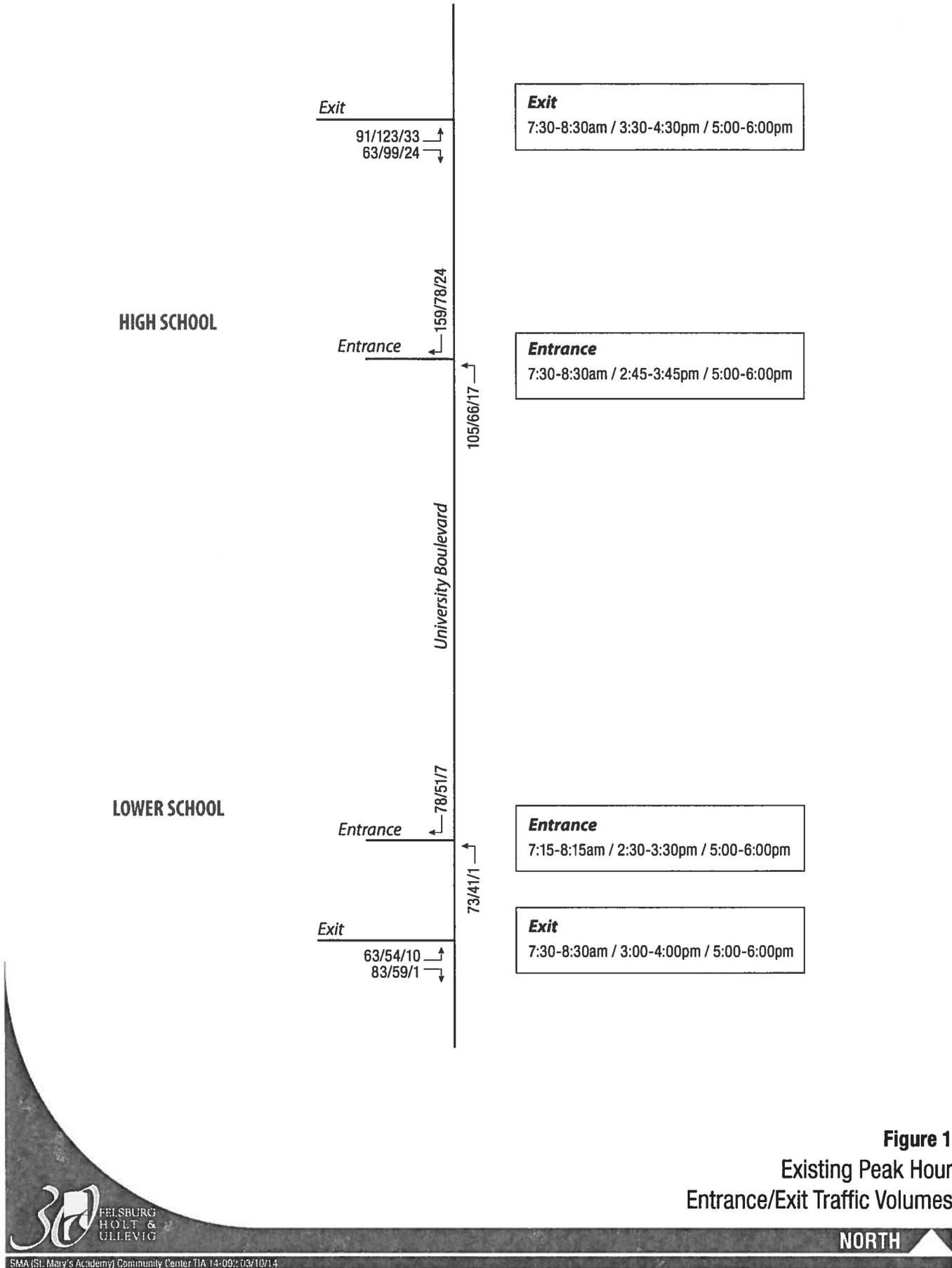
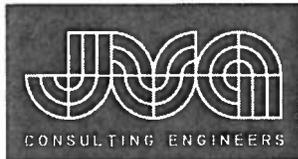


Figure 1
Existing Peak Hour
Entrance/Exit Traffic Volumes

NORTH





JVA, Incorporated
 1319 Spruce Street
 Boulder, CO 80302
 Ph: 303.444.1951
 Fax: 303.444.1957
 Toll Free: 877.444.1951

December 18, 2013

Web site:
www.jvajva.com

Mr. Michael Roybal
 The Roybal Corporation
 7600 East Eastman Ave, Suite 101
 Denver, CO 80231

E-mail:
info@jvajva.com

RE: Pond Volume and Drainage Letter for St. Mary's Academy – Community Center
 4545 S. University Blvd, Englewood, CO 80113
 JVA Job No. 2087c

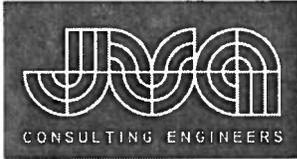
Dear Michael:

JVA, Inc. (JVA) has reviewed the as-as-constructed survey for the existing St. Mary's drainage and detention pond improvements provided by Bell Surveying Company on November 26, 2013. I also visited the site on November 19, 2013 to observe the improvements.

The Pond was originally constructed in 1999-2000 and was originally certified by Turner Collie & Braden Inc. (TCB), in a letter dated 8/31/2000.

Below is a table comparing the original pond certification to the current as-measured pond volumes. Please note that the surveys are on different vertical datums, which result in a difference of 2.84' between the two surveys.

Description	Original Design Volume (acre-ft)	Original Approved Water Surface Elevation	As Constructed Water surface elevation 8/30/2000	As constructed WSE from 8/30/2000 adjusted to current datum	Current as-measured Water Surface Elevation	Current as-measured pond volumes (acre-ft)
Bottom of Box	0	5401.57	5401.57	5404.41	5404.41	0
WQCV	0.31 acre-ft	5403.54	5403.72	5406.56	5406.56	0.34 acre-ft
10-year	0.85 acre-ft	5404.82	5405.10	5407.94	5407.94	0.94 acre-ft
100-year	1.35 acre-ft	5405.76	5406.13	5408.97	5408.97	1.42 acre-ft
Top of FB & bottom of spillway	Not in original report	5406.76	5407.13	5409.97	5409.98	1.97 acre-ft



The as-constructed pond outlet structure matches the previously as-constructed certification from 2000 prepared by TCB. The required detention volume has been provided. The pond still functions as originally designed.

Pond volume certifications from Bell Surveying and the original pond certification letter are enclosed for reference.

Please let me know if there is anything else we can do to be of assistance.

Sincerely,
JVA, Inc.

Kenneth J. Clifford, PE
Project Manager
Cc: file

Wall luminaires with two-sided light output

Housing: One piece die-cast aluminum with mounting holes for direct attachment to the wall over a 3 1/2" or 4" octagonal wiring box. All aluminum used in construction is marine grade and copper free.

Enclosure: One piece die-cast aluminum guard, secured by two stainless steel captive screws threaded into a stainless steel insert. Fully gasketed for weather tight operation using a molded silicone rubber gasket. Tempered frosted glass diffuser.

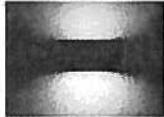
Electrical: 10.9W LED luminaire, 13 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (85 CRI); add suffix K4 to order.

Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order

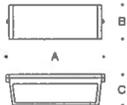
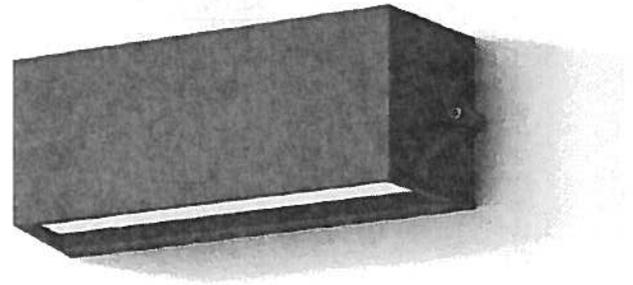
CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP65

Weight: 3.1 lbs.



Type: **TYPE W4**
 BEGA Product:
 Project:
 Voltage:
 Color:
 Options:
 Modified:

TYPE W4



Two-sided light output

	Lamp	A	B	C
2363LED ADA	10.9W LED	8 1/2	4 3/8	4

6" ROUND HORIZONTAL LAMP DOWNLIGHT

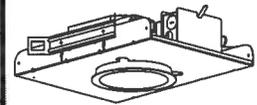
PH60

SUBMITTAL:

JOB:

TYPE:

VOLTAGE:



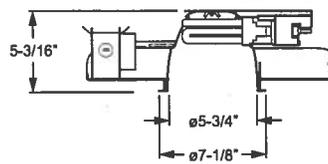
EXAMPLE

PH60 - 2 26Q - CS - OPTIONS - EB2 - UNV

SERIES NUMBER OF LAMPS WATTAGE/TYPE REFLECTOR FINISH OPTIONS BALLAST TYPE VOLTAGE

FEATURES

- ▶ Horizontal lamp placement and reflector design provides wider light distribution with a lower profile for shallow plenums.
- ▶ Self-flanged reflector offers maximum lamp performance.
- ▶ Sturdy one-piece pan construction.
- ▶ Adjustable hanger brackets with bar hangers standard.
- ▶ Easy-access, 14-gauge galvanized steel junction box with two snap-on covers.
- ▶ Self-flanged, low-iridescent aluminum reflector available in assorted colors.
- ▶ This fixture is proudly made in the USA.



SPECIFICATIONS

Housing – 20-gauge, die-formed, galvanized steel pan/plaster frame.
Reflector – Low-iridescent aluminum. Clear semi-specular (CS) finish standard.
Electrical – Electronic ballast. Prewired at factory for easy field installation.
Mounting – Recessed. Pan size: 12" x 16-1/4" Ceiling cutout: ø6-1/2" Cutout with SCA: ø9-1/8"
Labels – UL/CUL listed for through-branch circuit wiring and dry or damp locations. UL/CUL listed for wet location under covered ceiling when specified with ___/CGS, ___/CPG, or ___/FF option.

ORDERING INFORMATION

SERIES

PH60 6" Round Horizontal Lamp Downlight

LAMP OPTIONS

# OF LAMPS	WATTAGE/TYPE
1	13Q, 18Q, 26Q, 26T, 32T, or 42T
2	13Q, 18Q, or 26Q

REFLECTOR FINISH

CS	Clear semi-specular (standard)
SPC	Clear specular
CG	Champagne gold
GD	Gold
PW	Pewter
SG	Satin-glow
STR	Straw
WT	Wheat

OPTIONS

For EM and EM/ITS ballast options, see Downlighting Information section.¹

F	Fuse (must specify voltage)
MWT	Matte white trim
MB	Micro-baffle
YOKE¹	Yoke mount reflector ¹
CCEA¹	Chicago plenum (CP) ¹
AC/CGS²	Accent cone with clear glass lens ²
AC/CPG	Accent cone with clear prismatic tempered glass lens
AC/FF	Accent cone with fresnel glass lens

OPTIONS (Continued)

MB/CGS²	Micro-baffle with clear glass lens ²
MB/CPG	Micro-baffle with clear prismatic tempered glass lens
MB/FF	Micro-baffle with fresnel glass lens
WW	Wall wash (not available with AC or MB)
LD	Luminous disk
LDO	Luminous disk open
LR	Luminous ring
PFS/___	Perforated shield (must specify LD, LDO, or LR option)
SCA___°	Sloped Ceiling Adapter (Specify degree of slope in 5° increments, 10°-30°. SCA increases fixture height, see Downlighting Information for details.)
RETRO¹	Retrofit Mounting Pan Assembly (see Downlighting Information for details) ¹

BALLAST TYPE

EB1	1-lamp electronic ballast
EB2	2-lamp electronic ballast
EBD1*___³	1-lamp electronic dimming ballast (120V or 277V only, must specify) ³
EBD2*___³	2-lamp electronic dimming ballast (120V or 277V only, must specify) ³

VOLTAGE (Must specify)

120	120V
277	277V
UNV	120-277V

LAMP BASE DATA

Wattage	Base
13Q	G24q-1
18Q	G24q-2
26Q	G24q-3
26T	GX24q-3
32T	GX24q-3
42T	GX24q-4

¹ EM is not available with RETRO option. EM/ITS option is not available with CCEA or YOKE options.

² Acrylic or polycarbonate lens options also available.

³ Must specify manufacturer. See Downlighting Information section for dimming ballast options.



PH60

6" ROUND DOWNLIGHT – HORIZONTAL LAMP

TEST REPORT INFORMATION

- ▶ Test Report #: 13291.0
- ▶ Date: 10/20/06
- ▶ Lamp Type: CFQ26W/G24q/35
- ▶ Lamp Quantity: 2
- ▶ Rated Lumens: 1800.

DESCRIPTION

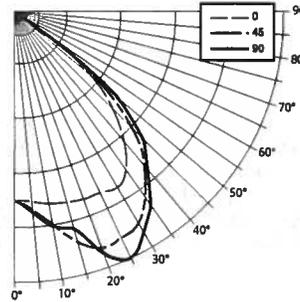
- ▶ 2/26W Quad Tube Horizontal Compact Fluorescent Downlight
- ▶ 6" Aperature
- ▶ Low-Iridescent Semi-Specular Reflector with Open Bottom
- ▶ Sylvania Ballast #QTP2x2 6CF/UNVBS

PHOTOMETRY INFORMATION

Catalog #: PH60-226Q-EB-CS

CANDLEPOWER DISTRIBUTION

Vertical Angle	Horizontal Angle			Zonal Lumens
	0°	45°	90°	
0°	610.	610.	610.	
5°	614.	640.	651.	60.8
15°	637.	770.	725.	208.2
25°	642.	804.	878.	366.2
35°	621.	723.	755.	445.5
45°	440.	540.	576.	408.3
55°	103.	119.	150.	113.6
65°	8.	8.	8.	8.2
75°	3.	2.	2.	2.5
85°	1.	1.	0.	1.0
90°	0.	0.	0.	



LUMEN SUMMARY

Zone	Lumens	% Lamp	% Fixture
0 - 30	635.	17.6	39.3
0 - 40	1081.	30.0	66.9
0 - 60	1603.	44.5	99.3
0 - 90	1614.	44.8	100.0
Total Luminaire:			
0 - 180	1614.	44.8	100.0
IES Spacing Criteria: End = 1.5 Diagonal = 1.6 Across = 1.6			

ZONAL CAVITY COEFFICIENTS

	Ceiling	.80			.70			.50		
	Wall	.70	.50	.30	.70	.50	.30	.50	.30	.10
Room Cavity Ratio	0	.53	.53	.53	.52	.52	.52	.50	.50	.50
	1	.50	.49	.48	.49	.48	.47	.46	.45	.44
	2	.48	.45	.43	.46	.44	.42	.43	.41	.40
	3	.45	.41	.39	.44	.40	.38	.39	.37	.36
	4	.42	.38	.35	.41	.37	.34	.36	.34	.32
	5	.39	.34	.31	.38	.34	.31	.33	.30	.28
	6	.36	.31	.28	.35	.31	.28	.30	.27	.25
	7	.33	.28	.25	.33	.28	.25	.27	.24	.22
	8	.31	.25	.22	.30	.25	.22	.25	.22	.20
	9	.28	.23	.19	.28	.22	.19	.22	.19	.17
	10	.26	.21	.17	.25	.20	.17	.20	.17	.15

Effective Floor Cavity Reflectance = .20

QUANTITY ESTIMATOR

Room Size	±50 fc.	±75 fc.	±100 fc.
20' x 20' (400 sq. ft.)	14	22	29
30' x 30' (900 sq. ft.)	32	48	65
40' x 40' (1,600 sq. ft.)	57	86	115

Calculations based on standard reflectance of 80/50/20 and a light loss factor of 1.0 with a 10'-0" ceiling height.

COLOR CONVERSION FACTORS

CAT#	Description	Conversion Factor
SPC	Specular	1.02
CG	Champagne gold	.96
GD	Gold	.93
PW	Pewter	.86
STR	Straw	.97
WT	Wheat	.88
MB	Micro-baffle	.60

1300 Industrial Road, Unit #19
 San Carlos, CA 94070
 FREE CALL 1-866-695-5862 US & Canada
 info@lumascap.com

LUMASCAPE USA INC.

TYPE G1

LS853LED

Ingrade



The LS853LED is a full featured, shallow depth ingrade luminaire featuring lumen output and efficacy exceeding metal halide. As an inherently protected luminaire it can be used in interior spaces and immediately adjacent to combustible materials (such as wood decking, etc). Dimming options include 0-10 V and PWM protocols, with various power input options, including 120-277 V. In addition, internal rotation and tilt adjustability ensures the most efficient light delivery can be set according to site conditions.

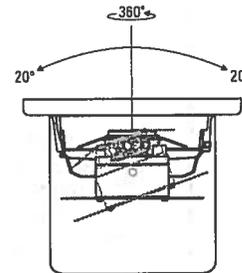
Specifications

Lamp Source	16 W or 20 W LED <input type="checkbox"/> White (4 300 K typical) <input type="checkbox"/> Warm white (3 000 K typical) <input checked="" type="checkbox"/> Blue (470 nm) <i>Other colors by request</i> <input checked="" type="checkbox"/> RGB
Approved Use	Suitable for wet locations Suitable for use in poured concrete Inherently protected
Lumen Maintenance (L70)	> 60,000 hrs <i>Limited by TM-21 x6 rule</i>
Control Options	0-10 V PWM
IP Rating	IP68
Construction	316 marine grade stainless steel
Installation Types	Pre-Installation Blockout Concrete pour, drive-over & general use applications Direct Burial Landscapes, planters & special applications <i>(consult factory)</i>
Drive-over	With OptiClear™ lens and pre-installation blockout (LS6052-K or LS6052-K-SP)
Static Load Rating	8 140 lb (3 700 kg) with OptiClear™ lens and pre-installation blockout (LS6052-K or LS6052-K-SP) <i>(Load applied to center of glass across a 2" diameter area)</i>
Impact Rating	IK10 with OptiClear™ lens
Standard Inclusions	Teflon coated cover screws MicroAntiLeach™ wire entry
Accessories	LS6052-K/LS6052-K-SP Pre-installation blockout
Remote Transformers / Power Supplies	Refer to Technical Data section for application specific options <i>Order separately</i>
Ambient Operating Temperature	16 W -22 °F to 104 °F (-30 °C to +40 °C) 20 W -22 °F to 122 °F (-30 °C to +50 °C)
Surface Temperature	≤113 °F (45 °C)
Photometrics	Refer to www.lumascap.com

Any luminaire can become hot - take care with appropriate use and placement



LS853LED
 with round flush cover



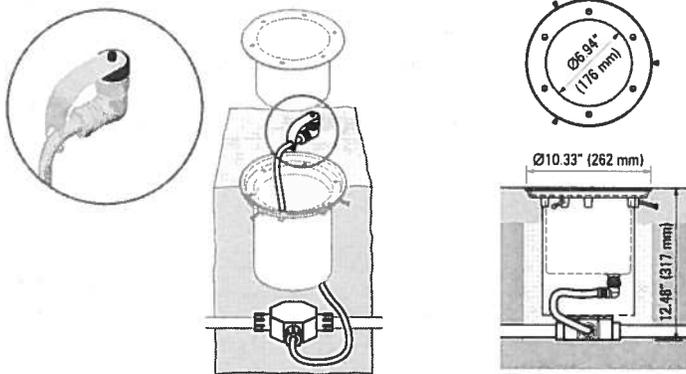
Why Use LS6052-K Pre-Installation Blockout?

The LS6052-K acts as a blockout, and is intended for installation before the luminaire, however it has other special functions. To simplify the installation, every LS6052-K is supplied complete with a 4-way, 3/4" PVC junction box, inside which the installer can make all necessary connections, and allows the completion of all wiring even before the luminaire arrives on site. This method also ensures the luminaire itself is not damaged during concreting or other site works. **Note: The junction box remains serviceable after installation.** To complete the installation, Lumascape provides an IP68 connector, enabling a tool-free final connection from the luminaire to the branch circuit. In addition, this connector is readily detachable, allowing for off-site maintenance.

Why Use LS6052-K-SP Pre-Installation Blockout?

The LS6052-K-SP pre-installation kit (order separately) is ideal for use in applications where maximum flexibility for the type and location of branch circuit connections are required or where exact site conditions may be unknown. The LS6052-K-SP is also for use with all applications requiring a color changing or dimmable lighting scheme. For use with the LS6052-K-SP, Lumascape provides the LS853LED complete with 6.5' of factory-installed hookup wire or an SOOW cord (both options include a MicroAntiLeach™ seal). This provides the installer with greater flexibility to determine the type and location of the branch circuit connection. This option is also 100% hard-wired, and does not feature the IP68 detachable couplings for off-site maintenance. All aspects of the luminaire itself are still field serviceable.

Connection Type '85' for LS6052-K Pre-Installation Blockout



IP68 Connector & Junction Box

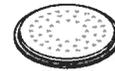
The luminaire is fitted with an IP68 connector, which attaches directly to the cord supplied with LS6052-K, without the use of any tools. The cord is 1.8' (0.56 m) in length, and is factory assembled with a 4 way, 3/4" junction box - **Remains field serviceable after installation.**
Not suitable for color changing or dimmable applications.

Lens Options



OptiClear™ Glass

Glass of very high optical purity and load strength. Suitable for walk-over and drive-over applications.



GripGlass™

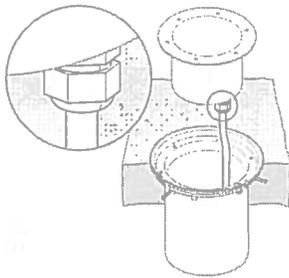
OptiClear™ glass with slip reduction glazing process. Suitable for walk-over and drive-over applications.



Borosilicate Glass

Ideal for limited access locations. Not recommended for high traffic pedestrian areas.

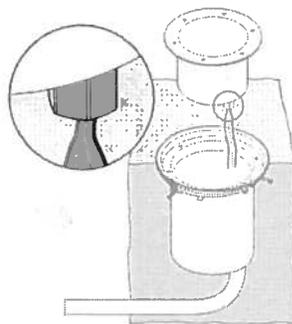
Connection Type '84' for LS6052-K-SP Pre-Installation Blockout



6.5' SOOW Cord

For connection to the branch circuit via junction box (by others) or other approved method.
 c/w 6.5' SOOW Cord (16/3)

Connection Type '82' for LS6052-K-SP Pre-Installation Blockout



1/2" NPT Adapter

The luminaire is factory-fitted with 6.5' hookup wire. Ensure terminations can be made within this length.
 For other length options, consult factory.

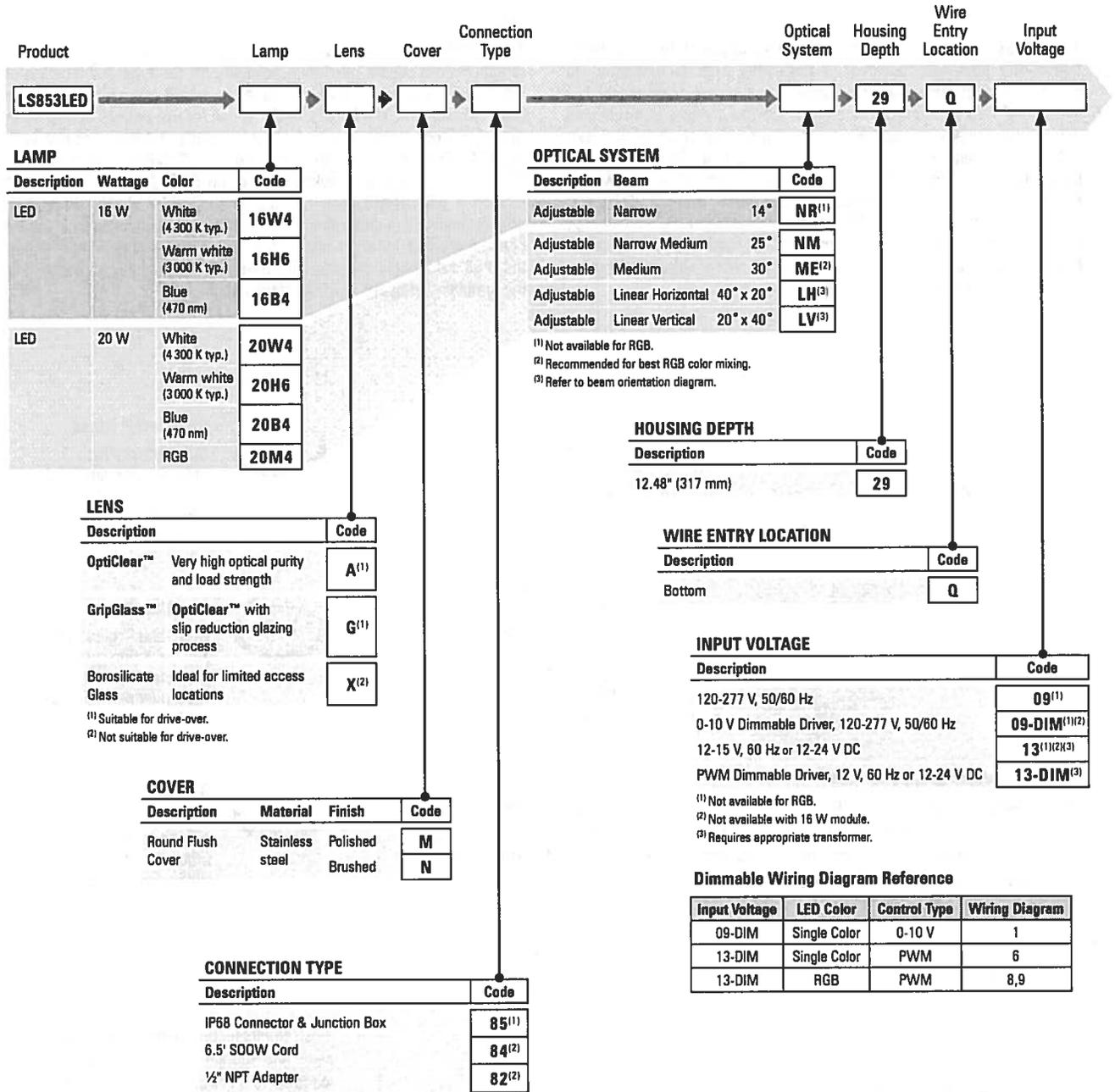
Cover Options for Pre-Installation Blockout

Flush covers for pre-installation use special seals and support bushes to ensure static loads up to 8 140lb (3 700 kg) are properly supported. In order to achieve this drive-over rating, OptiClear™ or GripGlass™ must be used.



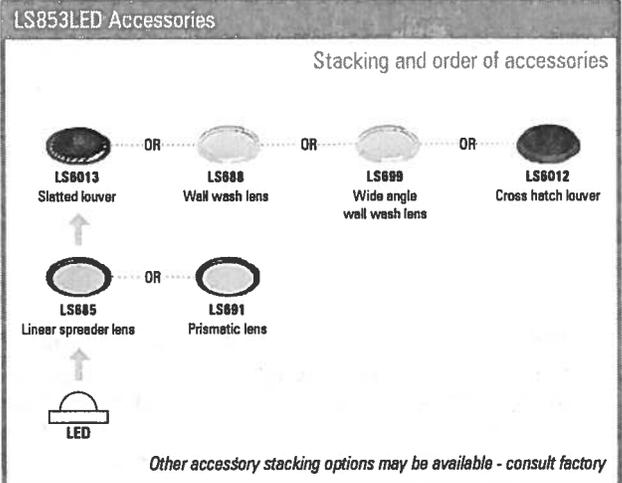
Pre-Installation Blockout Round Flush Cover

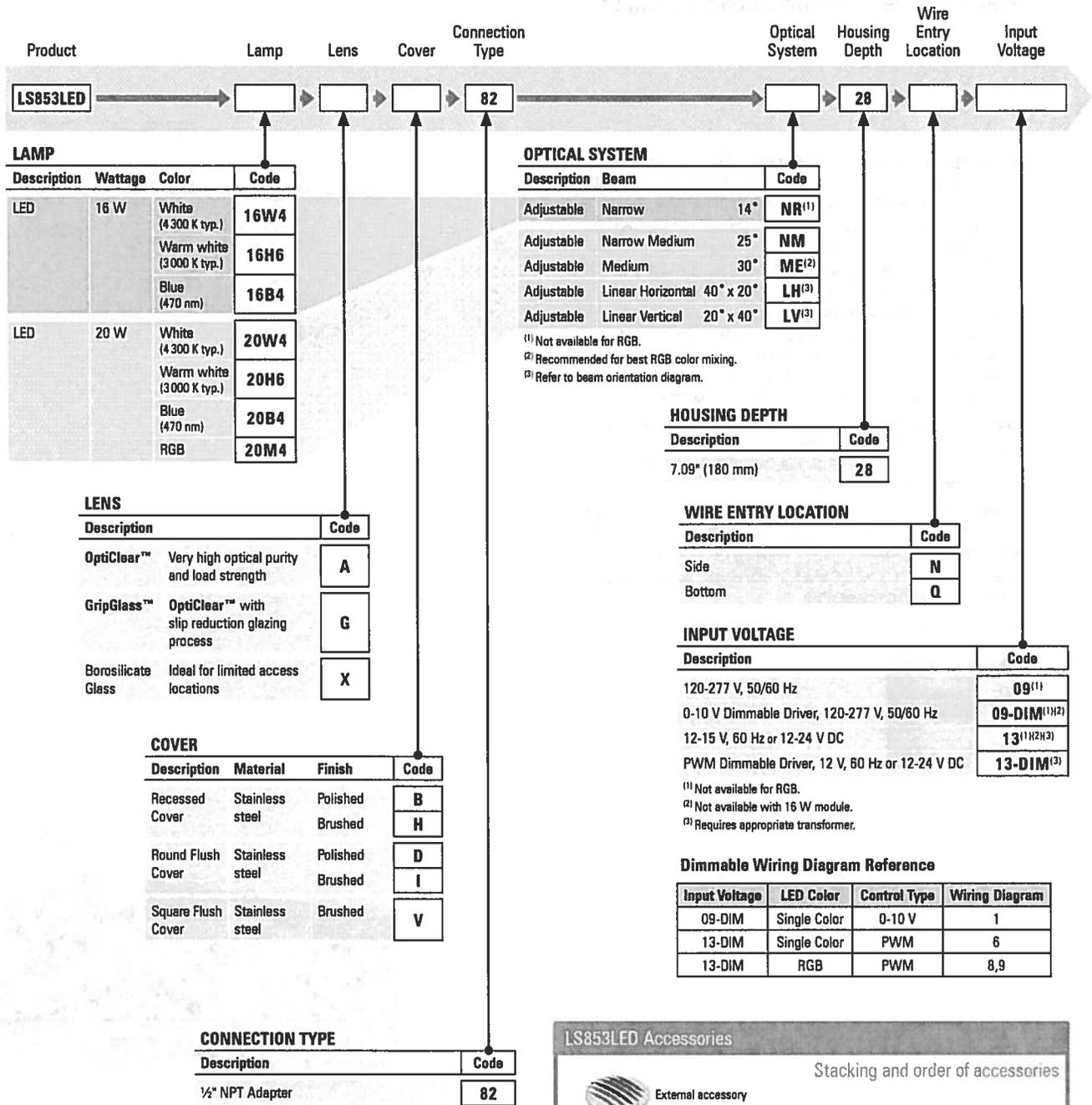
- SS316: Polished
- SS316: Brushed



Dimmable Wiring Diagram Reference

Input Voltage	LED Color	Control Type	Wiring Diagram
09-DIM	Single Color	0-10 V	1
13-DIM	Single Color	PWM	6
13-DIM	RGB	PWM	8,9





LAMP

Description	Wattage	Color	Code
LED	16 W	White (4 300 K typ.)	16W4
		Warm white (3 000 K typ.)	16H6
		Blue (470 nm)	16B4
LED	20 W	White (4 300 K typ.)	20W4
		Warm white (3 000 K typ.)	20H6
		Blue (470 nm)	20B4
		RGB	20M4

OPTICAL SYSTEM

Description	Beam	Code
Adjustable	Narrow	14° NR ⁽¹⁾
Adjustable	Narrow Medium	25° NM
Adjustable	Medium	30° ME ⁽²⁾
Adjustable	Linear Horizontal	40° x 20° LH ⁽³⁾
Adjustable	Linear Vertical	20° x 40° LV ⁽³⁾

⁽¹⁾ Not available for RGB.
⁽²⁾ Recommended for best RGB color mixing.
⁽³⁾ Refer to beam orientation diagram.

LENS

Description	Code
OptiClear™ Very high optical purity and load strength	A
GripGlass™ OptiClear™ with slip reduction glazing process	G
Borosilicate Glass Ideal for limited access locations	X

COVER

Description	Material	Finish	Code
Recessed Cover	Stainless steel	Polished	B
		Brushed	H
Round Flush Cover	Stainless steel	Polished	D
		Brushed	I
Square Flush Cover	Stainless steel	Brushed	V

CONNECTION TYPE

Description	Code
½" NPT Adapter	82

HOUSING DEPTH

Description	Code
7.09" (180 mm)	28

WIRE ENTRY LOCATION

Description	Code
Side	N
Bottom	Q

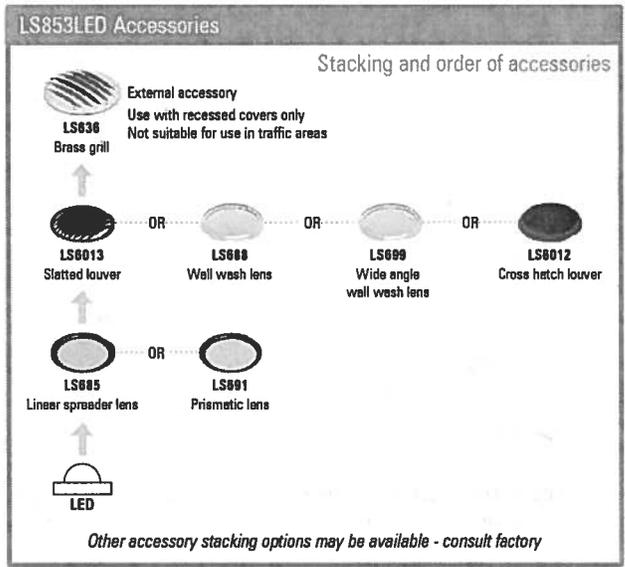
INPUT VOLTAGE

Description	Code
120-277 V, 50/60 Hz	09 ⁽¹⁾
0-10 V Dimmable Driver, 120-277 V, 50/60 Hz	09-DIM ⁽¹⁾⁽²⁾
12-15 V, 60 Hz or 12-24 V DC	13 ⁽¹⁾⁽²⁾⁽³⁾
PWM Dimmable Driver, 12 V, 60 Hz or 12-24 V DC	13-DIM ⁽³⁾

⁽¹⁾ Not available for RGB.
⁽²⁾ Not available with 16 W module.
⁽³⁾ Requires appropriate transformer.

Dimmable Wiring Diagram Reference

Input Voltage	LED Color	Control Type	Wiring Diagram
09-DIM	Single Color	0-10 V	1
13-DIM	Single Color	PWM	6
13-DIM	RGB	PWM	8,9



Wall luminaires with two-sided light output

Housing: One piece die-cast aluminum with mounting holes for direct attachment to the wall over a 3 1/2" or 4" octagonal wiring box. All aluminum used in construction is marine grade and copper free.

Enclosure: One piece die-cast aluminum guard, secured by two stainless steel captive screws threaded into a stainless steel insert. Fully gasketed for weather tight operation using a molded silicone rubber gasket. Tempered frosted glass diffuser.

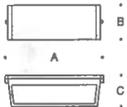
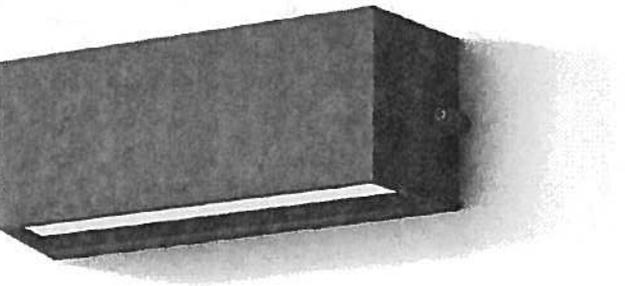
Electrical: 10.9W LED luminaire, 13 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (85 CRI); add suffix K4 to order.

Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order

CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP65

Weight: 3.1 lbs.



Two-sided light output

Lamp	A	B	C
2363LED ADA 10.9W LED	8 1/2	4 3/8	4

TYPE W4

Type:
 BEGA Product:
 Project:
 Voltage:
 Color:
 Options:
 Modified:

SP2 – Spectra™ Small Scale

TYPE

RESET



SP2

- Four hood styles and four lens elements to configure a look of harmony with your architecture
- Symmetric or asymmetric distribution
- Post-top, wall mount arm, or pole mount arm options
- Tool-less access with captive fastener

- Adaptable appearance is perfect for contemporary or traditional installations
- Stainless steel struts
- Powder coat finish in 13 standard colors with a polymer primer sealer

1. LUMINAIRE	2. HOOD STYLE	3. LENS/ELEMENT	4. LAMP/BALLAST	5. HOOD FINISH	6. COLOR	7. OPTIONS	8. MOUNTING
SP2	STR	GLA	18LED-VWV	STS	MAL		SAP2

1. LUMINAIRE

- SP2 (Spectra small scale) SP2 (Spectra LED small scale)

2. HOOD STYLE (HT: 29.2"/740 mm EPA: 2.27 WT: 46lbs)

- ANGLED FLARED STRAIGHT DOUBLE
 ANG FLR STR DBL
- INDIRECT INDIRECT FULL CUTOFF
 IND (Type 3) IND (Type 5) IND-FCO

3. LENS/ELEMENT

FROSTED GLASS DIFFUSER

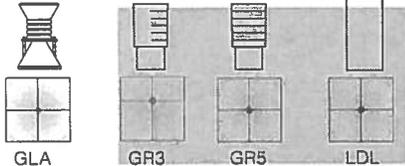
- GLA

GLASS REFRACTOR

- GR3 (Type 3) GR5 (Type 5)

LIGHTLY DIFFUSED LENS

- LDL (Type 5)



4. LAMP/BALLAST

LED

18LED array. (20.9 watts. Bright white (5100K). Warm white (3500K). 120 thru 277 volt. Symmetric distribution

18LED-BW (Bright white) 18LED-WW (Warm white)

9LED array. (12.2 watts. Bright white (5100K). Warm white (3500K). 120 thru 277 volt. Asymmetric distribution

9LED-BW (Bright white) 9LED-WW (Warm white)

COMPACT FLUORESCENT (120 thru 277 volt)

Use 4-pin 26, 32, or 42 watt lamp. Specify wattage

CF (-18° C starting temp)

METAL HALIDE (120/277 volt ballast)

Medium base, ED-17 lamp

50MH 70MH 100MH

612 base, T-6 ceramic lamp

70MHTB

ELECTRONIC METAL HALIDE (120 thru 277 volt)

Medium base, ED-17 lamp

50MHEB 70MHEB 100MHEB

612 base, T-6 ceramic lamp

70MHT6EB

HIGH PRESSURE SODIUM (120/208/240/277 volt ballast)

Medium base, ED-17 lamp

50HPS 70HPS 100HPS

All ballasts are factory wired for 277 volts, unless specified. Lamps not included.

5. HOOD FINISH (OPTIONAL)

Hood finish will match luminaire finish unless selecting one of these options. Hood underside is unfinished to develop a patina.

- STS (Stainless steel) COP (Natural copper)

6. COLOR

- AWI (Arctic White) MAL (Matte Aluminum)
- BLK (Black) MDG (Medium Grey)
- MTB (Matte Black) ATG (Antique Green)
- DGN (Dark Green) LGY (Light Grey)
- DBZ (Dark Bronze) RAL/PREMIUM
- WRZ (Weathered Bronze) COLOR (Provide RAL)
- BRM (Metallic Bronze) CUSTOM COLOR
- VBL (Verde Blue) (Provide color chip for matching)
- CRT (Corten) match existing

7. OPTIONS

- 347 (347 volt ballast 120/227/347. Not available with electronic ballast)
- AD4 (SP2 adaptor. Designed to slip over a 4"/100mm O.D. pole)
- ULS (Upper lens shield in the upper lens area. Provides cutoff optics (1.2% upright). Indirect only. Only available for IND3 & IND5)
- LDL (Lightly diffused lens)

8. MOUNTING

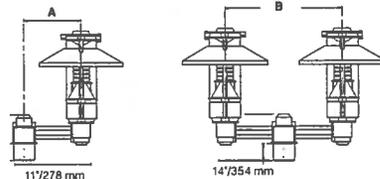
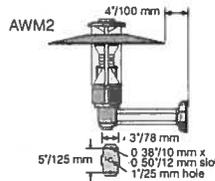
All arms regardless of hood diameter, have a 4"/100mm distance from the edge of the shade to the pole centerline or face of the wall.

WALL MOUNT

- AWM2 (Wall plate is 6.375"/162mm x 3.5"/89mm WT: 5 lbs. EPA: 0.11)

POLE MOUNT (Slips over a 3"/75mm pole)

- SAP2 (Single - Wt: 9lbs EPA: .63)
- TAP2 (Twin - Wt: 12lbs EPA: .83)



SAP2

TAP2

Slip over a 3"/75 mm or 4"/100 mm O.D. pole

Slip over a 4"/100 mm O.D. pole

Hood Style	A	B
Angled (ANG)	12 7/300mm	24 7/600mm
Flared (FLR)	15 26 7/38 1mm	30 5 7/63 mm
Straight (STR)	15 75 7/394mm	31 5 7/788mm
Double (DBL)	15 75 7/394mm	31 5 7/788mm

Visit www.aal.net for Arms, Poles & Accessories Specification Guide

SPECIFICATIONS

HOUSING

The fixture housing shall be all cast aluminum, A356 alloy, free of any porosity, foreign materials, or cosmetic fillers. The ballast shall be mounted internally and accessed by loosening two captive bolts and lifting off the top of the fixture. The top cover shall be hinged and secured with one captive tool-less fastener for relamping. The top shall seal with a molded silicone gasket. The upper reflector cone shall be matte finished anodized aluminum. The lens shall be clear seamless acrylic sealed to the housing with a molded silicone gasket on the top and bottom. The vertical struts shall be 316 stainless steel tubing. All internal and external hardware shall be stainless steel. All female threads on the aluminum parts shall be cast-in-place brass inserts to ensure no thread seizure.

HOOD

The hoods shall be spun from 6061 T-6 aluminum, 316 stainless steel or 110 copper. The shade shall have hemmed or beaded edges for added strength. The underside of the painted shades and all indirect shades (of aluminum, stainless steel or copper) shall be painted a high reflectance white. Stainless steel and copper shade shall be unfinished on both sides, except for the indirect (IND) models. Stainless steel hood not available with FCO model

LENSES/ELEMENTS

All lenses shall be molded, seamless high impact lighting grade acrylic.

The GLA element shall be frosted borosilicate glass with a twist on connection to the lower cone assembly. The cone shall be matte finished anodized aluminum.

The GR3 and GR5 shall be precision molded borosilicate glass refractors with the Type 3 or Type 5 distribution. The refractors shall be mounted to a gasketed aluminum holder with an internal pressure plate.

The LDL lens shall be acrylic with a lightly diffused internal finish.

The IND indirect fixtures shall have a clear acrylic lens with a lower reflector cone and an upper diffusing cone.

See next page

JOB _____

TYPE _____

NOTES _____



ARCHITECTURAL AREA LIGHTING
 16555 East Gale Ave. | City of Industry | CA 91745
 P 626.968.5666 | F 626.369.2695 | www.aal.net
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SP2 – Spectra™ Small Scale

TYPE

The one-piece hood and lens shield provides IES full cutoff classification meaning there is zero light emitted above 90° horizontal. The lens shield is aluminum and painted to match the fixture color (IND-FCO only.)

ELECTRICAL

The ballast shall be integral to the fixture, mounted on a prewired module with a quick disconnect plug. The ballast module shall have keyhole slots and be removable by loosening two screws. Sockets shall be pulse rated porcelain. HID ballasts shall be high power factor, rate for -30°C starting. The compact fluorescent ballast shall be electronic for use with 4 pin lamps (GX24q-4 socket) rated for -18°C starting temperature.

FINISH

Fixture finish shall consist of a five stage pretreatment regimen with a polymer primer sealer, oven dry off, and top coated with a thermoset super TGIC polyester powder coat finish. The finish shall meet the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance.

ARM AND POLE MOUNTING

The pole mounted arm for a single fixture (SAP) and pole mounted arm for two fixtures at 180° (TAP) shall have a cast aluminum post top and fixture fitter with two round horizontal stainless steel bars. The post fitter shall slip over a 3/75mm pole and be secured with six stainless steel set screws.

The wall mounted arms for a SP2 fixture shall have a cast aluminum wall plate, cover and fixture fitter with two round horizontal stainless steel bars. The cover shall secure to the wall plate with four stainless steel set screws.

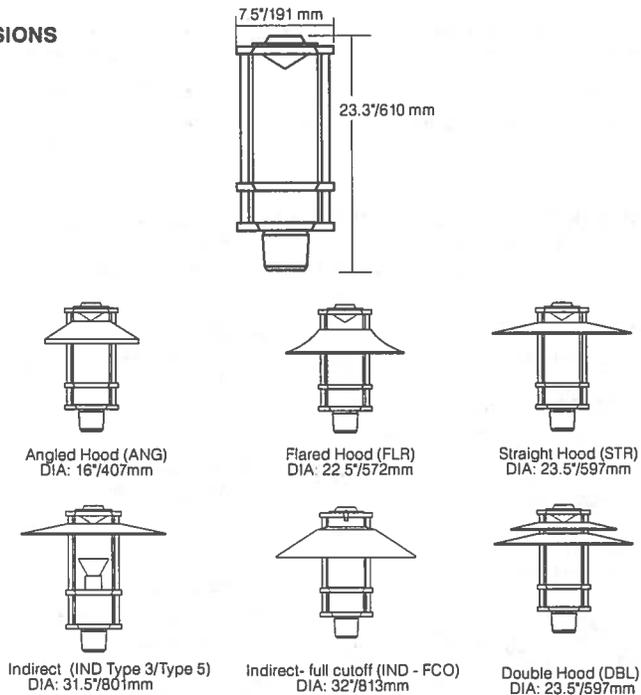
CERTIFICATION

Fixtures shall be listed with ETL for outdoor, wet location use, UL1598 and Canadian CSA Std. C22.2 no.250.

WARRANTY

Spectra LED, including housing, LEDs and electrical components, is warranted for five years. Non LED fixture is warranted for three years. Ballast components carry the ballast manufacturer's limited warranty. Any unauthorized return, repair, replacement or modification of the Product(s) shall void this warranty. This warranty applies only to the use of the Product(s) as intended by AAL and does not cover any misapplication or misuse of said Product(s), or installation in hazardous or corrosive environments.

DIMENSIONS



SP2 IND3

WATTAGE: 123

LUMEN OUTPUT: 3337

EFFICACY: 69.1

B1 U3 G2

FORWARD LIGHT LUMEN

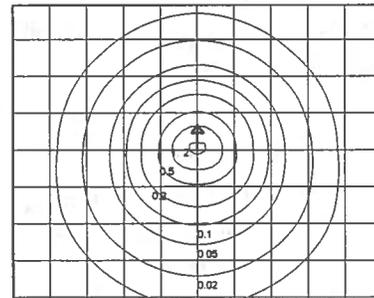
FL	30°	4.0%	338
FM	60°	8.0%	676
FH	80°	3.5%	295
FVH	90°	0.7%	61

BACK LIGHT

BL	30°	3.7%	311
BM	60°	7.8%	664
BH	80°	4.5%	383
BVH	90°	1.2%	100

UPLIGHT

UL	100°	1.3%	113
UH	180°	4.7%	398



20' MOUNTING HEIGHT

Mounting Height	Multiplier
10	4.000
15	1.778
20	1.000
25	0.640
30	0.444
35	0.327
40	0.250
45	0.198
50	0.160

UPLIGHT 15.3%
DOWNLIGHT 84.7%

SP2 18LED BW

WATTAGE: 20.9

LUMEN OUTPUT: 1116

EFFICACY: 53.4

B1 U3 G1

FORWARD LIGHT LUMEN

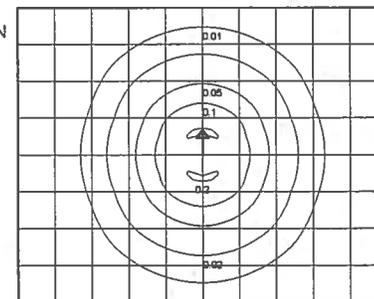
FL	30°	3.2%	36
FM	60°	17.6%	196
FH	80°	16.8%	187
FVH	90°	7.1%	79

BACK LIGHT

BL	30°	3.2%	36
BM	60°	17.6%	196
BH	80°	16.8%	187
BVH	90°	7.1%	79

UPLIGHT

UL	100°	8.2%	91
UH	180°	2.6%	29



20' MOUNTING HEIGHT

Mounting Height	Multiplier
10	4.000
15	1.778
20	1.000
25	0.640
30	0.444
35	0.327
40	0.250
45	0.198
50	0.160

UPLIGHT 10.7%
DOWNLIGHT 89.3%

AAL reserves the right to change product specifications without notice.

IES files can be found at www.aal.net



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P 626.968.5666 | F 626.369.2695 | www.aal.net
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SIGNATURE BLOCKS

Planning and Zoning Commission Recommendation:
 This Expanded Use Application is recommended for (approval, approval with conditions, denial), after public hearing by the City of Cherry Hills Village Planning and Zoning Commission this _____ day of _____, 20____. The details of such recommendation are contained in that certain Notice of Decision of the Cherry Hills Village Planning and Zoning Commission dated _____, 20____.

By _____, Chairman

City Council Approval:

This Expanded Use Application is (approved, approved with conditions, denied) after public hearing by the City of Cherry Hills Village City Council this _____ day of _____, 20____. The details of this (approval, approval with conditions, denial) are contained in that certain Notice of Decision of the Cherry Hills Village City Council dated _____, 20____.

By _____, Mayor

Owners of Record Signature Block:

Know all persons by these presents, that the undersigned hereby certify that they are all of the Owners(s), Mortgagee(s) and Lienholder(s) of certain lands in the City of Cherry Hills Village, Arapahoe County, Colorado, described as follows:

Know further that said Owner(s), Mortgagee(s) and Lienholder(s) hereby make, or consent to the making of, this Expanded Use Application pursuant to the provisions and requirements of Article XX, Chapter 16 of the Cherry Hills Village Municipal Code.

Executed this _____ day of _____, 20____.

Owner(s) _____ Mortgagee(s) and Lienholder(s) _____

State of Colorado)
) ss.
 County of _____)

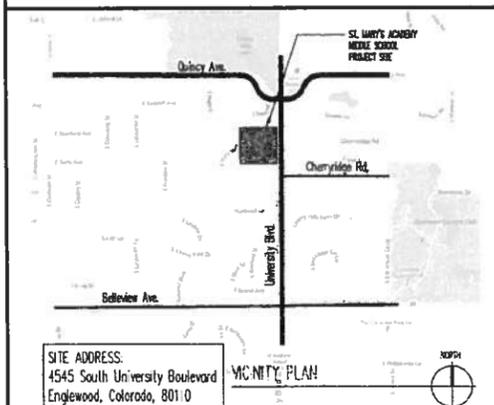
The foregoing Owners of Record Signature Block was acknowledged before me this _____ day of _____, 20____ by _____

Witness my hand and seal

Notary Public

My commission expires: _____

VICINITY MAP



SITE ADDRESS:
 4545 South University Boulevard
 Englewood, Colorado, 80110

VICINITY PLAN



ST MARY'S ACADEMY

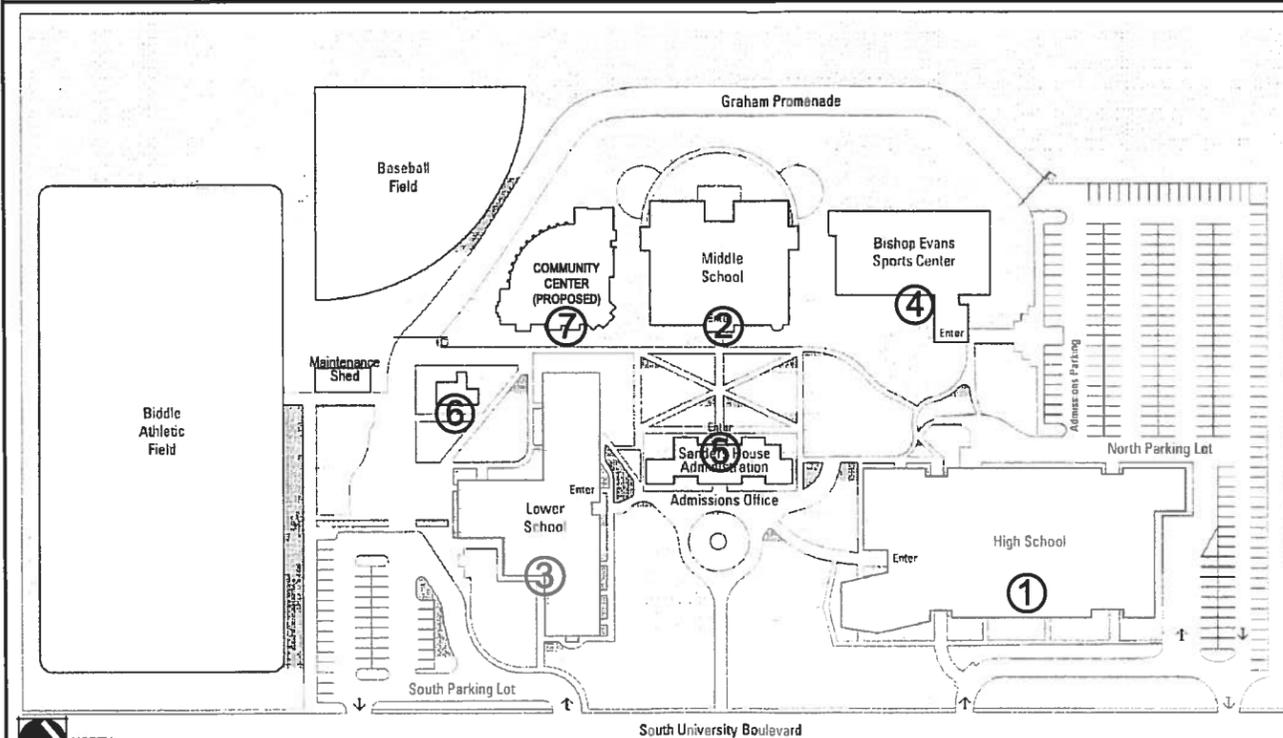
ENGLEWOOD, COLORADO

COMMUNITY CENTER EXPANDED USE PERMIT

APRIL 23, 2014

PROJECT PURPOSE: THE PURPOSE OF THIS EXPANDED USE PERMIT IS TO CONSTRUCT A NEW COMMUNITY CENTER OF APPROXIMATELY 22,772 SQUARE FEET FOR ADDITIONAL CLASSROOM SPACE AND COMMONS AREA, PRIMARILY TO SERVE THE EXISTING STUDENT POPULATION.

CAMPUS LOCATION MAP



St. Mary's Academy Founded 1864

4545 South University Boulevard
 Englewood, Colorado 80110
 303.762.8300 voice
 303.783.6201 fax
 www.sma.net.org

SHEET INDEX

SHEET	DESCRIPTION
S-0	COVER SHEET, CAMPUS LOCATION MAP & INDEX
S-1	SITE SURVEY
S-2	SITE AND LANDSCAPE PLAN
S-3	BUILDING HEIGHT COMPLIANCE
S-4	BUILDING ELEVATIONS
S-5	BUILDING ELEVATIONS
S-6	BUILDING ELEVATIONS
S-7	LIGHTING PLAN

PARKING REQUIREMENTS

EXISTING BUILDINGS	SIZE (Classroom/ SqFt.)	PARKING AMT. REQ'D
LOWER SCHOOL		
Classrooms (1 per each)	18	18
Offices (1 per 300 sf)	330	1
Auditorium (1 per 100 sf)	4800	48
	Subtotal:	67
MIDDLE SCHOOL		
Classrooms (1 per each)	15	15
Offices (1 per 300 sf)	350	1
Auditorium (1 per 100 sf)	1600	16
	Subtotal:	32
HIGH SCHOOL		
Classrooms (5 per each)	25	125
Offices (1 per 300 sf)	3597	12
Auditorium (1 per 100 sf)	3058	31
	Subtotal:	168
BISHOP EVANS		
Auditorium (1 per 100 sf)	9082	91
	Subtotal:	91
SANDERS HOUSE		
Classrooms (1 per each)	1	1
Offices (1 per 300 sf)	4023	13
	Subtotal:	14
CARETAKER RESIDENCE		
Dwellings (2 per each)	1	2
	Subtotal:	2
TOTAL REQUIRED FOR EXISTING BUILDINGS		374

PROPOSED BUILDINGS	SIZE (Classroom/ SqFt.)	PARKING AMT. REQ'D
COMMUNITY BUILDING - PROPOSED		
Classrooms (1 per each)	9	9
Offices (1 per 300 sf)	580	2
Auditorium (1 per 100 sf)	4151	42
	Subtotal:	53
TOTAL REQUIRED FOR PROPOSED BUILDINGS		53

GRAND-TOTAL REQUIRED FOR ALL BUILDINGS	427
---	------------

EXISTING CAMPUS PARKING PROVIDED	AMT.
Lower School Parking Area	50
High School / Middle School Parking Area	285
Sanders House	6
Caretaker House	2
TOTAL	343

DIFFERENCE	84
PARKING REDUCTION REQUIRED	20%

BUILDING HEIGHT

HIGH SCHOOL: ONE STORY: 5,456.5' ELEV.	SANDERS HOUSE, ADMINISTRATION & ADMISSIONS OFFICES: TWO STORIES: 5,477.01' ELEV.
MIDDLE SCHOOL: TWO STORIES: 5,464' ELEV.	CARETAKER: ONE STORY: 5,454.15' ELEV.
LOWER SCHOOL: TWO STORIES: 5,461.27' ELEV.	COMMUNITY CENTER (PROPOSED): TWO STORIES: 5,468.33' ELEV.
BISHOP EVANS SPORTS CENTER: ONE STORY: 5,459.94' ELEV.	

NOTE: EXISTING BUILDING HEIGHTS ARE APPROXIMATE, REPRESENTED VIA USGS ELEVATIONS AT THE HIGHEST POINT OF THE FINISHED ROOF SURFACE.

ADJACENT USES

ADJACENT PROPERTY ZONING

NORTH: R-3, 1-ACRE RESIDENTIAL DISTRICT
EAST: R-3, 1-ACRE RESIDENTIAL DISTRICT
R-3, 1-ACRE MINIMUM YARD REQUIREMENTS FOR BUILDINGS:
 FRONT YARD SETBACK - 50 FT
 SIDE YARD SETBACK - 25 FT
 REAR YARD SETBACK - 25 FT
 MAXIMUM HEIGHT LIMITATION:
 30 FEET
 FAR: 0.25

SOUTH: R-1 2½ -ACRE RESIDENTIAL DISTRICT
WEST: R-1 2½ -ACRE RESIDENTIAL DISTRICT
R-1 2½ -ACRE MINIMUM YARD REQUIREMENTS FOR BUILDINGS:
 FRONT YARD SETBACK - 75 FT
 SIDE YARD SETBACK - 50 FT
 REAR YARD SETBACK - 50 FT
 MAXIMUM HEIGHT LIMITATION:
 35 FEET
 FAR: 0.23

LEGAL

LEGAL DESCRIPTION

LOT 1 BLK 1 ST MARYS ACADEMY 1ST FLG. TOTAL
 PARCEL SIZE: 24.67 ACRES

ZONING

CURRENT ZONING: R-1, 2.5-ACRE RESIDENTIAL DISTRICT

R-1, 2½ ACRE RESIDENTIAL DISTRICT MINIMUM YARD REQUIREMENTS FOR PUBLIC BUILDINGS:
 FRONT YARD SETBACK - 75 FT
 SIDE YARD SETBACK - 50 FT
 REAR YARD SETBACK - 50 FT
 MAXIMUM HEIGHT LIMITATION:
 35 FEET, 2-STORIES
 FAR: 0.23

SITE DATA & INFORMATION

- ① **HIGH SCHOOL:**
 LOWER LEVEL: 32,840 SF
 UPPER LEVEL: 35,530 SF
 TOTAL: 68,370 SF
 - ② **MIDDLE SCHOOL:**
 LOWER LEVEL: 17,864 SF
 UPPER LEVEL: 19,585 SF
 TOTAL: 37,449 SF
 - ③ **LOWER SCHOOL:**
 LOWER LEVEL: 17,264 SF
 UPPER LEVEL: 3,326 SF
 TOTAL: 20,590 SF
 - ④ **BISHOP EVANS SPORTS CENTER:**
 LOWER LEVEL/
 TOTAL: 7,650 SF
 - ⑤ **SANDERS HOUSE, ADMINISTRATION & ADMISSIONS OFFICES:**
 LOWER LEVEL: 3,712 SF
 UPPER LEVEL: 3,440 SF
 LOFT: 1,200 SF
 TOTAL: 8,352 SF
 - ⑥ **CARETAKER:**
 LOWER LEVEL/TOTAL: 1,536 SF
 - ⑦ **COMMUNITY CENTER (PROPOSED):**
 LOWER LEVEL: 11,452 SF
 MAIN LEVEL: 11,320 SF
 TOTAL: 22,772 SF
- TOTALS (INCLUDING COMMUNITY BUILDING):** 166,520 SF
TOTAL (WITHOUT COMMUNITY BUILDING): 143,748 SF
- NOTE REGARDING LIMITATION ON CONCURRENT EVENTS:
 SMA shall not program, schedule or conduct Concurrent Events on the Property that will cause the parking demands for the combined Concurrent Events to exceed the parking capacity of 343 spaces on the Property. In order to ensure that the limitation on Concurrent Events is adequately met, SMA specifically agrees that the Bishop Evan gymnasium located on the Property shall not be used for Concurrent Events during school hours of operation.
- FAR CALCULATION - 0.23 (Parcel Size: 24.67-acres)
 MAXIMUM CAMPUS ALLOWABLE SQUARE FOOTAGE: 247,164
 CURRENT SQUARE FOOTAGE: 143,748
 PROPOSED SQUARE FOOTAGE: 166,520
 AMOUNT FAR REMAINING: 80,644 SF

ST MARY'S ACADEMY
 4545 South University Boulevard
 Englewood, CO 80113

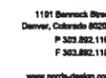
Project:
 Community Center

Directory:



THE ROYBAL CORPORATION ARCHITECTS
 7800 Eastman Avenue, Suite 101
 Denver, CO 80231
 voice: 303.871.7400
 fax: 303.871.9744
 www.roybalcorp.com

Consultants:



1191 Berwick Street
 Denver, Colorado 80204
 P: 303.882.1188
 F: 303.882.1188
 www.norris-design.com



JVA, Incorporated
 1319 Spruce Street
 Boulder, CO 80302
 voice: 303.444.1951
 fax: 303.444.1957
 www.jvajva.com

No.	Issue Record	YYYY-MM-DD
1	PRE SUBMITTAL	2013-09-10
2	PCC SUBMITTAL	2013-11-06
3	EXPANDED USE 1	2014-01-16

Date:
 EXPANDED USE 2:
 MARCH 14, 2014

Sheet Title

Cover Sheet,
 Campus Location
 Map & Sheet Index

Sheet Number

S-0

ST. MARY'S ACADEMY

4545 South University Boulevard
Englewood, CO 80113

Project:
Community Center



THE ROYBAL CORPORATION ARCHITECTS

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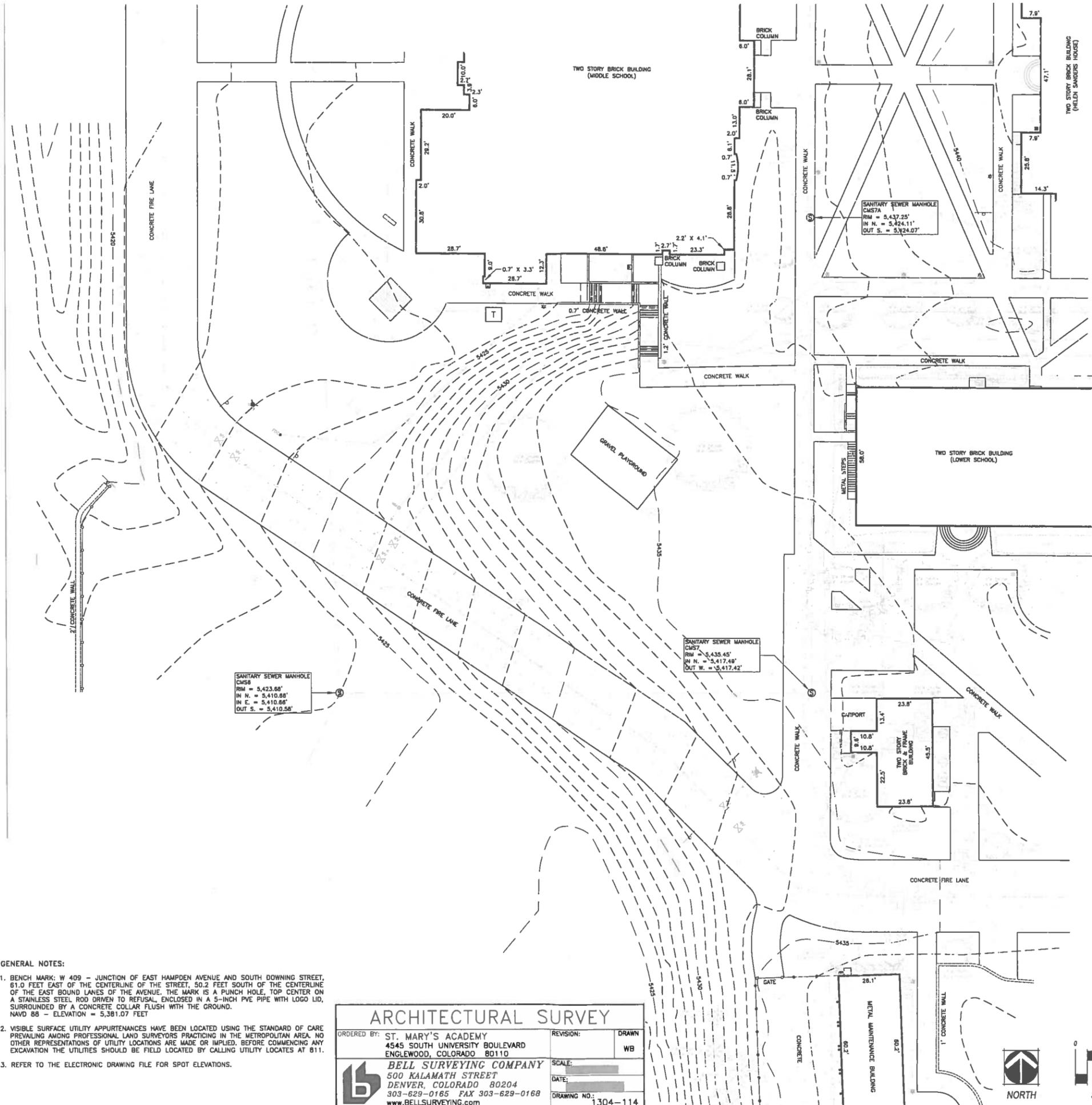
Date:
EXPANDED USE 2:
MARCH 14, 2014

Sheet Title

Site Survey

Sheet Number

S-1

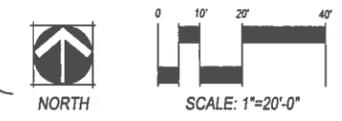


- LEGEND**
- BOLLARD
 - BUSH
 - CHAIN LINK FENCE
 - SIGN
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - CABLE TELEVISION SPLICE BOX
 - CLEAN OUT
 - DRAIN / SUMP
 - ROOF DRAIN
 - ELECTRIC TRANSFORMER
 - IRRIGATION CONTROL VALVE
 - ▶ LANDSCAPE LIGHT
 - ★ LIGHT POLE
 - E ELECTRIC LINE
 - GAS GAS LINE
 - SS SANITARY SEWER LINE
 - T TELEPHONE LINE
 - TV TELEVISION / CABLE LINE
 - W WATER LINE
 - SANITARY SEWER MANHOLE
 - TELEPHONE SPLICE BOX
 - WATER METER
 - FDC FIRE DEPARTMENT CONNECTION
 - FIRE HYDRANT
 - WATER VALVE
 - WINDOW WELL

- GENERAL NOTES:**
- BENCH MARK: W 409 - JUNCTION OF EAST HAMPDEN AVENUE AND SOUTH DOWNING STREET, 61.0 FEET EAST OF THE CENTERLINE OF THE STREET, 50.2 FEET SOUTH OF THE CENTERLINE OF THE EAST BOUND LANES OF THE AVENUE. THE MARK IS A PUNCH HOLE, TOP CENTER ON A STAINLESS STEEL ROD DRIVEN TO REFUSAL, ENCLOSED IN A 5-INCH PVE PIPE WITH LOGO LID, SURROUNDED BY A CONCRETE COLLAR FLUSH WITH THE GROUND. NAVD 88 - ELEVATION = 5,381.07 FEET
 - VISIBLE SURFACE UTILITY APPURTENANCES HAVE BEEN LOCATED USING THE STANDARD OF CARE PREVAILING AMONG PROFESSIONAL LAND SURVEYORS PRACTICING IN THE METROPOLITAN AREA. NO OTHER REPRESENTATIONS OF UTILITY LOCATIONS ARE MADE OR IMPLIED. BEFORE COMMENCING ANY EXCAVATION THE UTILITIES SHOULD BE FIELD LOCATED BY CALLING UTILITY LOCATES AT 811.
 - REFER TO THE ELECTRONIC DRAWING FILE FOR SPOT ELEVATIONS.

ARCHITECTURAL SURVEY

ORDERED BY: ST. MARY'S ACADEMY 4545 SOUTH UNIVERSITY BOULEVARD ENGLEWOOD, COLORADO 80110	REVISION:	DRAWN: WB
BELL SURVEYING COMPANY 500 KALAMATH STREET DENVER, COLORADO 80204 303-629-0165 FAX 303-629-0168 www.BELLSURVEYING.com	SCALE:	DATE:
	DRAWING NO.: 1304-114	



SIMARY'S ACADEMY

4545 South University Boulevard
Englewood, CO 80113

Project:
Community Center



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MARCH 14, 2014

Sheet Title

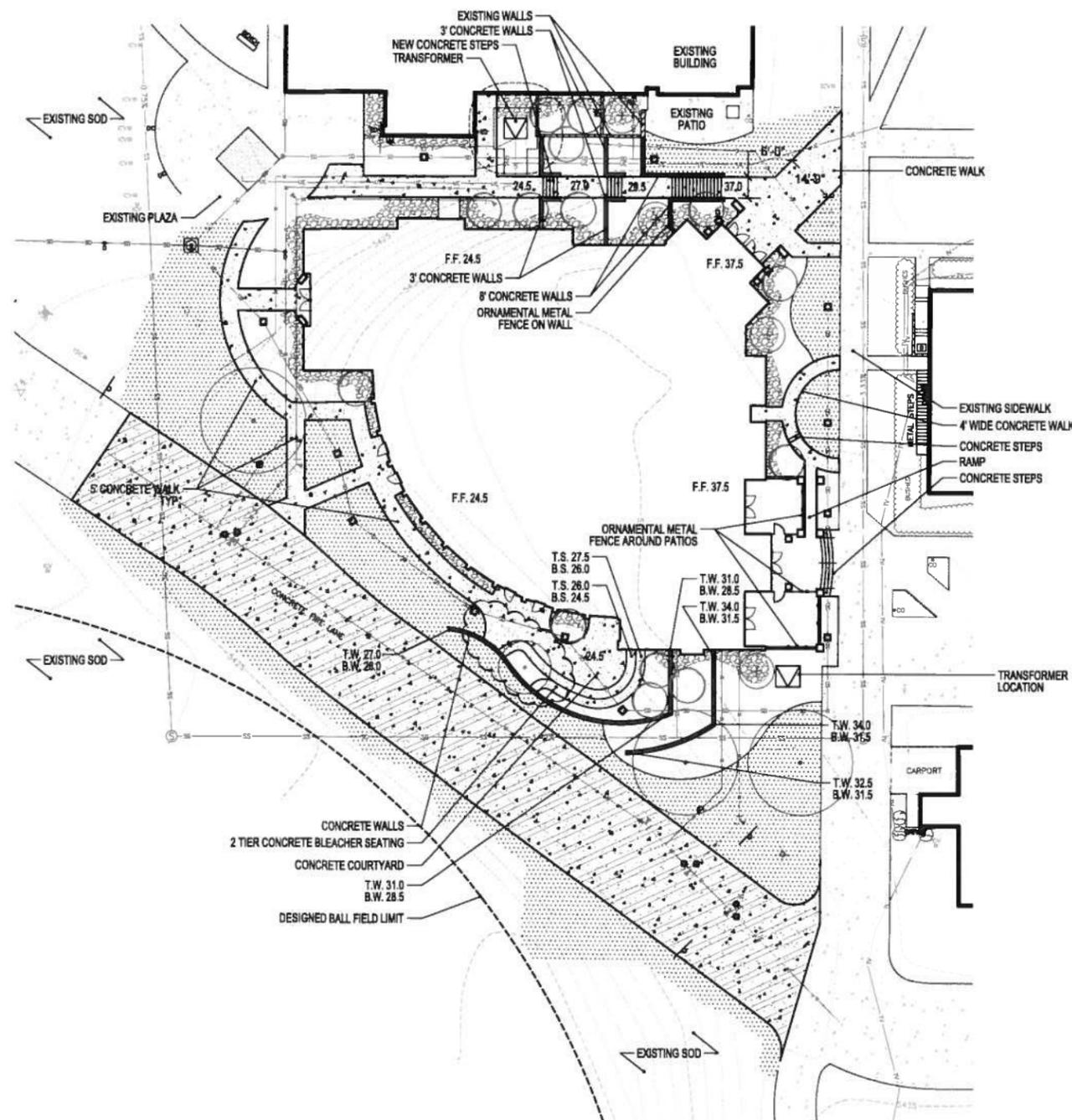
Site and
Landscape Plan

Sheet Number

S-2

LEGEND

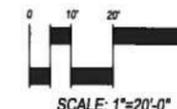
	CANOPY TREE
	SINGLE STEM ORNAMENTAL TREE
	MULTI-STEM LARGE SHRUB / SMALL ORNAMENTAL TREE
	EVERGREEN TREE
	NEW FIRE LANE CONCRETE PAVING
	NEW STANDARD CONCRETE PEDESTRIAN PAVING
	LANDSCAPE BED w/ CEDAR MULCH
	RIVER COBBLE BED
	NEW SOD
	NEW CAST-IN-PLACE CONCRETE RETAINING WALL W/ BRICK CAP
	NEW ORNAMENTAL FENCE (WHITE)
	NEW RAILING (WHITE)
T.W.	TOP OF WALL ELEVATION
B.W.	TOP OF WALL ELEVATION
T.S.	TOP OF STEP ELEVATION
B.S.	TOP OF STEP ELEVATION



NOTE:
SPOT ELEVATIONS SHOWN ARE APPROXIMATE AND
ARE SHOWN ON THIS PLAN TO PORTRAY THE GENERAL
INTENT OF THE DESIGN.



NORTH



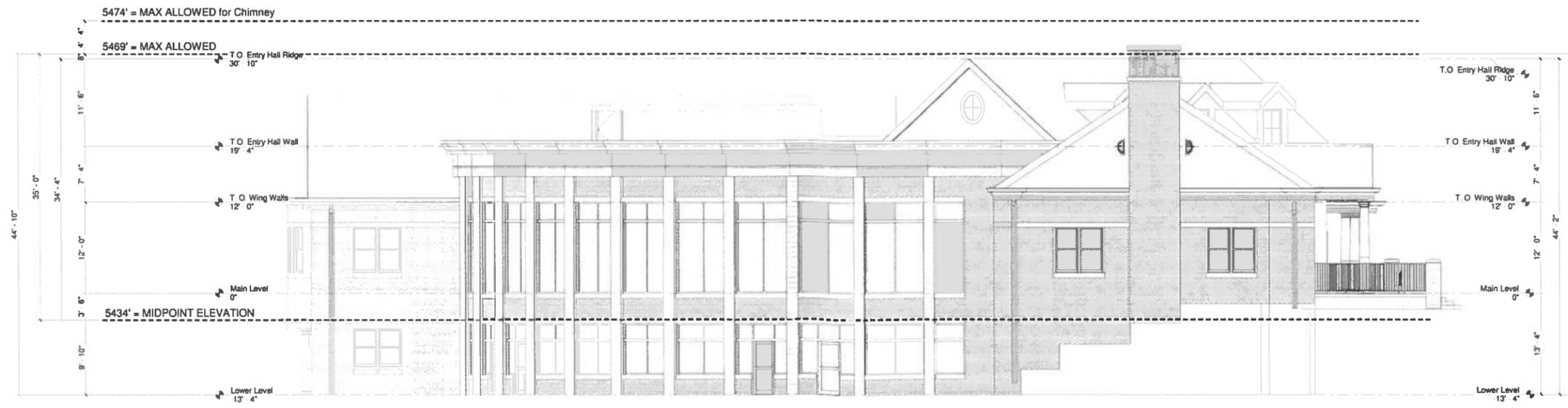
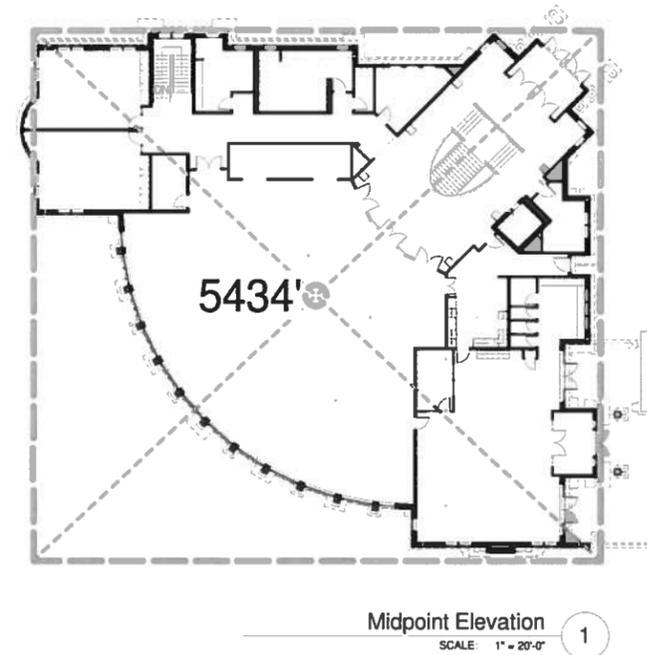
SCALE: 1"=20'-0"

CHERRY HILL VILLAGE BUILDING HEIGHT CALCULATIONS

Maximum building height for principal and accessory structures is measured from the natural grade at the midpoint of the structure to the highest point of the finished roof surface.

**MIDPOINT ELEVATION IS 5434' + 35' =
ALLOWED MAXIMUM ELEVATION OF 5469'**

MAX = 5434 + 35 = **5469**
PROPOSED = 5434 + 34'- 4" = **5468' - 4"**



South Elevation
SCALE 1/8" = 1'-0" 2

**STIMARY'S
ACADEMY**
4545 South University Boulevard
Englewood, CO 80113

Project:
Community Center

**THE ROYBAL CORPORATION
ARCHITECTS**
7600 Eastman Avenue, Suite 101
Denver, CO 80231
voice: 303.671.7400
fax: 303.671.9744
www.roybalcorp.com

Consultants:
1101 Saratoga Street
Denver, Colorado 80204
P 303.852.1186
F 303.852.1186
www.norris-design.com **NORRIS DESIGN**

JVA
CONSULTING ENGINEERS
JVA, Incorporated
1319 Spruce Street
Boulder, CO 80302
voice: 303.444.1951
fax: 303.444.1957
www.jvajva.com

No.	Issue Record	YYYY-MM-DD
1	PRE SUBMITTAL	2013-09-10
2	PCC SUBMITTAL	2013-11-06
3	EXPANDED USE 1	2014-01-16

Date:
EXPANDED USE 2:
MARCH 14, 2014

Sheet Title
**Building Height
Compliance**
Sheet Number

ST MARY'S ACADEMY

4545 South University Boulevard
Englewood, CO 80113

Project:
Community Center



THE ROYBAL CORPORATION ARCHITECTS

7600 Eastman Avenue, Suite 101
Denver, CO 80231
voice: 303.671.7400
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www.roybalcorp.com

Consultants:

1101 Bannock Street
Denver, Colorado 80204
P 303.862.1100
F 303.862.1100

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1319 Spruce Street
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No	Issue Record	YYYY-MM-DD
1	PRE SUBMITTAL	2013-09-10
2	PCC SUBMITTAL	2013-11-06
3	EXPANDED USE 1	2014-01-16

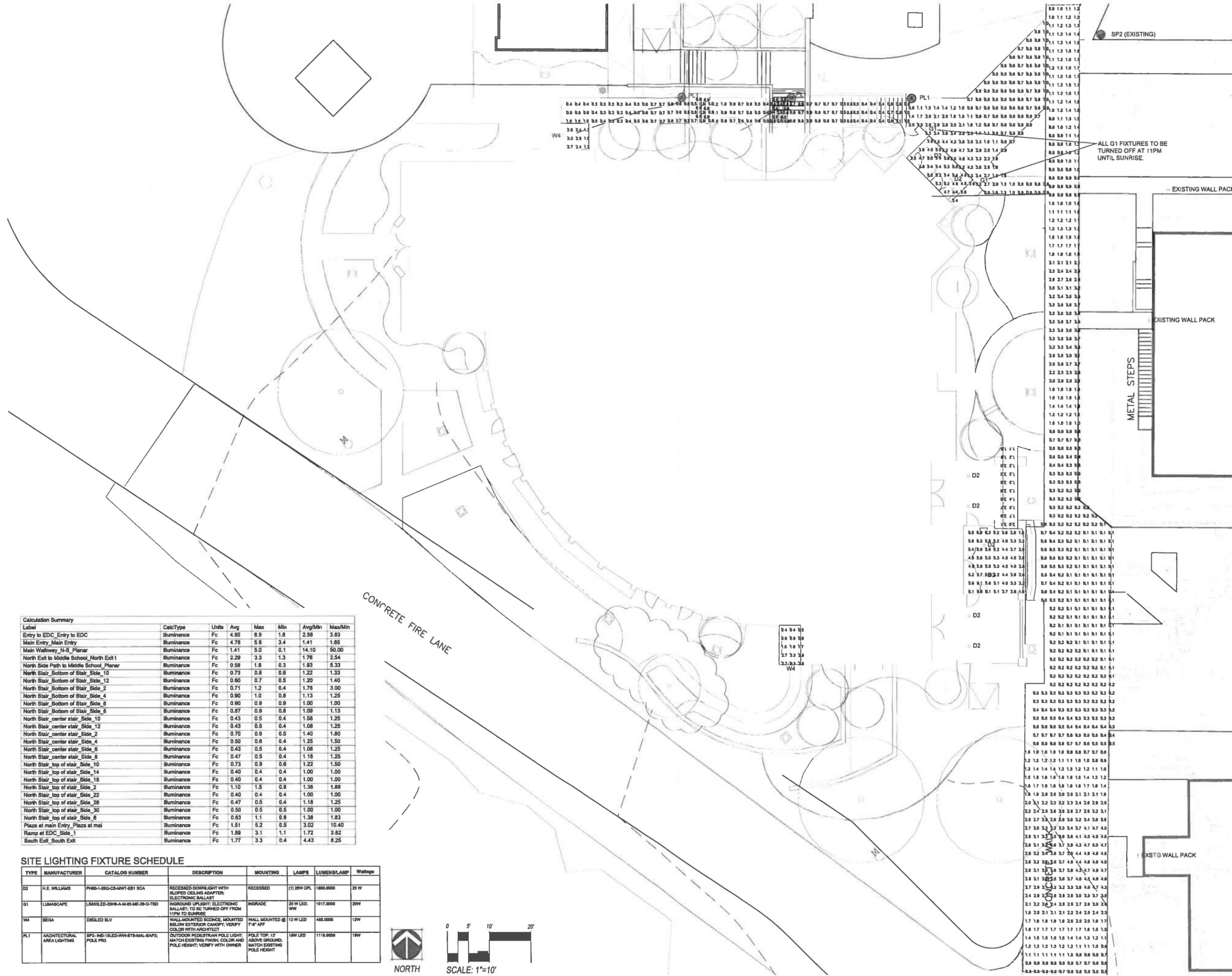
Date:
EXPANDED USE 2
MARCH 14, 2014

Sheet Title

Sheet Number

Lighting Plan

S-7



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Entry to EDC, Entry to EDC	Illuminance	Fc	4.65	6.9	1.8	2.58	3.83
Main Entry, Main Entry	Illuminance	Fc	4.78	5.8	3.4	1.41	1.85
Main Walkway, N-S, Planar	Illuminance	Fc	1.41	5.0	0.1	14.10	50.00
North Exit to Middle School, North Exit 1	Illuminance	Fc	2.29	3.3	1.3	1.78	2.54
North Side Path to Middle School, Planar	Illuminance	Fc	0.58	1.8	0.3	1.83	5.33
North Stair, Bottom of Stair, Side_10	Illuminance	Fc	0.73	0.8	0.6	1.22	1.33
North Stair, Bottom of Stair, Side_12	Illuminance	Fc	0.80	0.7	0.5	1.20	1.40
North Stair, Bottom of Stair, Side_2	Illuminance	Fc	0.71	1.2	0.4	1.78	3.00
North Stair, Bottom of Stair, Side_4	Illuminance	Fc	0.90	1.0	0.8	1.13	1.25
North Stair, Bottom of Stair, Side_6	Illuminance	Fc	0.90	0.9	0.9	1.00	1.00
North Stair, Bottom of Stair, Side_8	Illuminance	Fc	0.87	0.9	0.8	1.09	1.13
North Stair, center stair, Side_10	Illuminance	Fc	0.43	0.5	0.4	1.08	1.25
North Stair, center stair, Side_12	Illuminance	Fc	0.43	0.5	0.4	1.08	1.25
North Stair, center stair, Side_2	Illuminance	Fc	0.70	0.9	0.5	1.40	1.80
North Stair, center stair, Side_4	Illuminance	Fc	0.50	0.6	0.4	1.25	1.50
North Stair, center stair, Side_6	Illuminance	Fc	0.43	0.5	0.4	1.08	1.25
North Stair, center stair, Side_8	Illuminance	Fc	0.47	0.5	0.4	1.18	1.25
North Stair, top of stair, Side_10	Illuminance	Fc	0.40	0.4	0.4	1.00	1.00
North Stair, top of stair, Side_14	Illuminance	Fc	0.40	0.4	0.4	1.00	1.00
North Stair, top of stair, Side_18	Illuminance	Fc	0.40	0.4	0.4	1.00	1.00
North Stair, top of stair, Side_22	Illuminance	Fc	1.10	1.5	0.8	1.38	1.68
North Stair, top of stair, Side_26	Illuminance	Fc	0.40	0.4	0.4	1.00	1.00
North Stair, top of stair, Side_30	Illuminance	Fc	0.47	0.5	0.4	1.18	1.25
North Stair, top of stair, Side_8	Illuminance	Fc	0.50	0.5	0.5	1.00	1.00
North Stair, top of stair, Side_8	Illuminance	Fc	0.83	1.1	0.6	1.38	1.83
Plaza at main Entry, Plaza at mai	Illuminance	Fc	1.51	5.2	0.5	3.02	10.40
Ramp at EDC, Side_1	Illuminance	Fc	1.89	3.1	1.1	1.72	2.82
South Exit, South Exit	Illuminance	Fc	1.77	3.3	0.4	4.43	8.25

TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	Mounting	LAMPS	LUMENS/LAMP	Wattage
D2	H.E. WILLIAMS	PH80-1-260-CS-AMT-EB1 SCA	RECESSED DOWNLIGHT WITH SLOPED CEILING ADAPTER; ELECTRONIC BALLAST	RECESSED	(1) 20W CFL	1800/2000	25 W
G1	LUMASCAPE	L8X12L-20W-A-M-25-ME-29-O-T80	INGRADE UPLIGHT; ELECTRONIC BALLAST; TO BE TURNED OFF FROM 11PM TO SUNRISE	INGRADE	20 W LED, WW	1017/2000	30W
W4	BECA	230LED SLV	WALL-MOUNTED SCENE, MOUNTED BELOW EXTERIOR CANOPY; VERIFY COLOR WITH ARCHITECT	WALL MOUNTED @ 7'-4" AFF	13 W LED	483/2000	12W
PL1	ARCHITECTURAL AREA LIGHTING	8P2-IND-18LED-WW-8TB-MAL-8AP2; POLE PKG	OUTDOOR PEDESTAL POLE LIGHT; MATCH EXISTING FINISH, COLOR AND POLE HEIGHT; VERIFY WITH OWNER	POLE TOP, 12' ABOVE GROUND; MATCH EXISTING POLE HEIGHT	18W LED	1118/2000	18W



CITY OF CHERRY HILLS VILLAGE
SANITATION DISTRICT
3333 So. Bannock Street, Suite 250
Englewood, CO 80110

Phone: 303-762-8222
Fax: 303-762-8381

May 8, 2014

Re: St. Mary's Academy – New Community Center

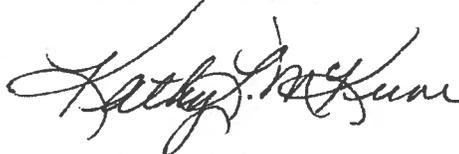
To Whom it May Concern:

This will confirm that after payment of the required sewer tap fee, the City of Cherry Hills Village Sanitation District ("CHVSD") will issue appropriate documentation necessary for St. Mary's Academy to connect one new sewer tap for the Community Center, and connect such tap to our municipal sewer line facilities and that CHVSD will serve St. Mary's Academy and provide continuing services to St. Mary's Academy as required by such connection. This commitment to serve is conditioned upon St. Mary's compliance with CHVSD's Design Standards, the recommendations of CHVSD's engineers, CHVSD's approval of the sewer connection construction, and other conditions of CHVSD's user and disposal agreements.

If you need any further information, please do not hesitate to contact us.

Sincerely,

CITY OF CHERRY HILLS VILLAGE
SANITATION DISTRICT



Kathy L. McKune
Administrator

/klm

D:\CHVSD\St Marys Will Serve ltr 2014.wpd

CITY OF CHERRY HILLS VILLAGE
SANITATION DISTRICT
3333 So. Bannock Street, Suite 250
Englewood, CO 80110

Phone: 303-762-8222
Fax: 303-762-8381
CHVSanDist@aol.com

SEWER RELEASE

To: City of Cherry Hills Village
Community Development

Date: 5/23/14

Property Address: 4545 S. University - Community Ctr

Applicant: St. Mary's Academy

Applicant has met CHVSD permitting requirements.

CITY OF CHERRY HILLS VILLAGE
SANITATION DISTRICT

By: Kathleen J. Makune
Administrator

EXPIRATION DATE: 9/22/14

Filing Fee: \$25.00

Check #

Date 5/23/14

1344

CITY OF CHERRY HILLS VILLAGE SANITATION DISTRICT
Arapahoe County, Colorado

APPLICATION FOR PERMIT

The undersigned owner of the property described below ("Property") applies for:

- Permission to tap sewer line of the District for the purpose of connecting the Property to such sewer lines by a service line.
- Permission to disconnect the property from the District's sewer lines.
- Permission to reconnect the property to the District's sewer lines following a permitted disconnection.

The undersigned furnishes the following information:

Current water meter size: 2"

New water meter size if different: _____

Sewer Line Contractor: OE Construction

Name

Telephone

By this application, the owner agrees to be bound by and to comply with the rules, regulations and engineering standards of the District and assumes all risks associated with the connection including whether the District's sewer line will drain the undersigned's service line and Property. The sewer tap, related hardware and service line extending therefrom, are the property of the owner and must be maintained at owner's expense. Owner is liable for all damages caused by any leaks from said sewer tap, related hardware, and service line and indemnifies the District for any loss (including reasonable attorney's fees) caused to it by owner's failure to satisfy said liability. The foregoing shall be construed in the plural if more than one tap is applied for. A site plan showing location of existing lines and the proposed connection is necessary prior to issuance of a tap.

STREET ADDRESS and LEGAL DESCRIPTION	SERVICE REQUESTED
ST. MARY'S Academy 4545 S. University Community CTR	<input type="checkbox"/> Single Family or Equivalent <input type="checkbox"/> Multiple Use

3-783-6207
Owner's Telephone

5/23/14
Date

ST. MARY'S Academy
Owner's Name (Print or Type)

MHU
Applicant Signature

SPECIFICATION FOR SEWER CONNECTIONS

If an existing "Y" connection is not available, a "Y" type saddle must be installed on the sewer main. The location of "Y" type saddle must be reviewed and approved by the District's engineer. The excavation must be left open until inspected and approved by a City of Englewood (303-762-2635) and a Cherry Hills Village Sanitation District (303-762-8222) Inspector. Owner must give 24 hours notice to Inspector for final inspection. Permits are required by the City of Cherry Hills Village for street cuts. Street cut permits must be obtained prior to construction.

SEWER TAP PERMIT

District acknowledges receipt of \$ 63,960.00 in payment of owner's tap fee and hereby authorizes the City of Englewood, Colorado or applicable sanitation district or treatment authority to issue any required permit to obtain sanitary sewer service for the above described property. This sewer tap permit shall be valid for 120 days only from date of above application. If this permit is not used and the sewer connection made within said 120 days, it shall become void and all rights thereto shall forthwith revert to the District in which event the owner shall be refunded the permit fee hereby receipted, less a \$100.00 Administrative Charge and a new fee shall be paid upon the issuance of the new permit. Sewer Service Fees become due and payable from the date of this Tap Permit.

5/23/14
Date

CITY OF CHERRY HILLS VILLAGE SANITATION DISTRICT

By [Signature]
Agent

CITY OF CHERRY HILLS VILLAGE
SANITATION DISTRICT
3333 So. Bannock Street, Suite 250
Englewood, CO80110

Phone: 303-762-8222
Fax: 303-762-8381
CHVSanDist@aol.com

SUMMARY OF SEWER PERMITTING REGULATIONS

A Sewer Tap Permit, after payment of the Sewer Tap Fee, is **required** for new properties or properties currently on septic tank systems.

An additional Sewer Tap Permit fee is **required** for Accessory Structures which are to be connected to a water supply; an Upgraded Sewer Tap Permit fee is **required** for an increase in water tap size serving a property. **Inspection** by Cherry Hills Village Sanitation District, (CHVSD) may be **required**.

Re-Connection:

- After a permitted sewer cut-off, a new Sewer Tap Permit is **required** for Re-Connection, at no additional cost, assuming the water tap size remains the same. **Inspection** by CHVSD is **required**. In some cases **Inspection** by the City of Englewood is also required.
- Re-use of the existing tap and pipe in the Right-of-Way may be approved, if the existing pipe in the Right-of-Way and tap are in good condition. A video of the existing pipe and tap is **required**. CHVSD will advise if re-use of the existing pipe and tap is acceptable. **NOTE:** VCP (clay) pipe is not acceptable for re-use, and must be replaced to the main. New sewer service line pipe is required from the property line to the residence, absent written consent of CHVSD.
- If relocation of the existing tap at the main is requested, capping of the current tap location at the main and its necessary inspections are **required, prior** to tapping the main at a new location.

Demolition: Sewer Cut-Off Permits are **required**. The cut-off may be inside property lines.

- Inspection of the Sewer Cut-off by CHVSD is **required**. In some cases Inspection by the City of Englewood is also required.

Inspection of any new sewer tap connection or change is **required** by CHVSD and the City of Englewood.

* The connection shall be made under the supervision of the District's representative. The coupon (cut-out pipe section) is to be retained and provided to the District representative. Buell Mansion and Covington properties do not require inspection by the City of Englewood.

Residential Sand/Oil Interceptors, swimming pool, water features, garage or stable drains **are not** permitted to be connected to the sanitary sewer.

Sewer Service Line repairs in a residential property do not require a permit by Cherry Hills Village Sanitation District. Inspection by Cherry Hills Village Sanitation District and in some instances the City of Englewood is **required**, if any repair is at the tap on the main. Septic tank repairs are not permitted except in limited cases. Please call for more information.

IN ADDITION TO CHVSD SEWER TAP FEES, SEWER TAP FEES TO THE CITY OF ENGLEWOOD, OR FOR THOSE PROPERTIES IN BUELL MANSION, AND COVINGTON, HILLCREST WATER AND SANITATION DISTRICT ARE REQUIRED. CHVSD REGULATIONS PREVAIL OVER ANY INCONSISTENT INFORMATION IN THIS SUMMARY.

No. 23589

CITY OF ENGLEWOOD
PERMIT TO CONSTRUCT SANITARY SEWER

No. 23589

VALID FOR ONE YEAR AFTER DATE ISSUED FOR INSPECTION CALL 762-2635

Service Address 4545 SOUTH UNIVERSITY BLVD ENGLEWOOD CO Zip 80113		Date 5/23/14 By JV
Legal Desc. Lot Blk		Rcpt. No. 35005 Permit Fee 35.
Subdivision		Meter Size 2" Tap Fee 1,3867
Owner Name ST. MARYS ACADEMY Phone 303-783-6207		Class COMMERCIAL.
Address 4545 SOUTH UNIVERSITY BLVD ENGLEWOOD CO Zip 80113		San. Dist. CHUSD. Tap Size 4"
Contractor HASELDEN CONSTRUCTION Phone 720-391-7930		Acct. No. Occ. Date
Address 6950 S. POTOMAC ST. CENTENNIAL CO Zip 80112		Billing Info.

APPROVED FOR THE DISTRICT BY: _____ DATE: _____

APPROVED FOR THE CITY BY: Jim Longene TITLE: _____
 DATE: 5-23-14
 TITLE: P.U.T.

owner of subject property, and contractor for owner, do hereby affirm that we have read the Requirements for Permit to Construct Sanitary Sewer, and understand and agree to all of its terms. We expressly understand and agree that we are responsible for insuring that all work be done in accordance with the terms set forth in the Requirements and all City ordinances, rules and regulations currently in effect.

We expressly agree that no use of the sewer will be made until final inspection by representatives of the City is made, and the Director of Utilities or his/her authorized representative signs the "Permit to Use Sanitary Sewer." We understand that no inspection will be made on any sewer facility that has been backfilled, and we agree that should the sewer be used without final inspection by a City Inspector, and signing of the "Permit to Use Sanitary Sewer" by the Director of Utilities or his/her authorized representative, the owner, by signing this permit, gives to the City and the District, the right to disconnect the sewer service line from the District main and agrees to pay the cost of disconnecting and pay double sewer connection fees prior to reconnecting to the sewer and further gives to the City the right to file a lien against the property in the event payment for such disconnection is not received within thirty (30) days of such disconnection.

We understand and agree that the double fee shall apply for any use of the facility not specifically approved by the Director of Utilities in writing prior to signing of the "Permit to Use Sanitary Sewer" and that no exceptions will be made to this requirement.

Owner mtalp Date _____ Contractor Date _____

PERMIT TO USE SANITARY SEWER

Tap Location	Feet From Manhole	Remarks
Connected in <input type="checkbox"/> Alley <input type="checkbox"/> Street <input type="checkbox"/> Easement		

The owner of the property listed hereon and the contractor for the owner have satisfied all the requirements of the City of Englewood's Permit to Construct Sanitary Sewer and are now given permission to use the sanitary sewer at this property. This permit is revokable by the City of Englewood whenever permit holder, his successor or assign, is in violation of the Englewood City Code and, upon sixty days notice, fails to comply with the Code provision cited. After the sixty-day period, City may revoke the permit and disconnect the service line from the main. After disconnection, reapplication for a "Permit to Use Sanitary Sewer" must be made to restore service and applicant shall pay all appropriate tap fees, connection fees, and inspection fees, as well as the cost incurred by the City for disconnection, in addition to those tap fees, connection fees, and inspection fees paid prior to disconnection.

Inspected by _____ Date _____
 Approved for the Dist. by _____ Date _____
 Posted by _____ Date _____
 Approved by Director of Utilities _____ By _____
 Title _____
 Owner mtalp Date _____

City of Englewood, Colorado
Receipt

312 - 6,400

Nº 35005 Date 5-23-2014

Account No. 306 - 7,502

Amount \$13,902.00

Received of ST. MARY'S ACADEMY, 4545 South UNIVERSITY BLVD.
ENGLEWOOD, CO. 80113. 303-762-8300

THIRTEEN THOUSAND NINE HUNDRED TWO AND 00/100 — Dollars

For Sanitary Sewer Tap Fee and Permit #23589 For 4545
S. UNIVERSITY BLVD. - COMMUNITY CENTER BLDG. - (B) BLDG #C

By Jim Valper

CHERRY HILLS VILLAGE SANITATION
DIST
3333 S BANNOCK ST STE 250

ENGLEWOOD, CO 80110

Reception #: D4038383, 05/08/2014 at
12:43:52 PM, 1 OF 6, EA, Rec Fee \$36.00
Arapahoe County CO Matt Crane, Clerk &
Recorder

AMENDED EASEMENT AGREEMENT

THE AGREEMENT is made this 5 day of May, 2014, by and between the City of Cherry Hills Village Sanitation District, a Colorado special district organization ("District"), and St. Mary's Academy of the Sisters of Loretto ("Owner"), under the following facts:

A. On November 3, 1999, the Owner in title of that certain part of the Northeast Quarter of Section 11, Township 5 South, Range 68 West of the 6th Principle Meridian, City of Cherry Hills Village, Arapahoe County, Colorado, now known as 4545 S University Blvd., Englewood, Colorado 80113 ("Property"), delivered to District an Easement Agreement covering a portion of the land described therein containing 0.938 acres, more or less, ("Easement") which was recorded on February 10, 2000, under Reception No. B0016358 in the Arapahoe County records, a copy of which is attached as Exhibit 1.

B. The Owner desires to makes changes to the existing Easement Agreement in exchange for District's consent to Owner's encroachment on the District's Easement occasioned by its construction of a new Community Center. A copy of the plan and its effect upon the Easement is depicted in the conceptual plan attached hereto as Exhibit 2.

IN CONSIDERATION of the foregoing and other good and valuable consideration, the District consents to the Owner's encroachment on its Easement as shown by Exhibit 2, subject to the conditions hereafter set forth to which Owner agrees. Owner and District further agree that the Easement Agreement is amended hereby in accordance with the provisions hereof:

1. Owner will provide District information regarding elevations of the proposed new utilities insofar as they encroach on the District's Easement to assure adequate vertical separation between the sanitary sewer and the water lines and geothermal supply and return lines as shown on Exhibit 2.

2. Owner is obligated to restore, at its expense and to its satisfaction, any encroaching structures (retaining walls, stairs, patios, etc) which are damaged or destroyed during any repair or maintenance of the District's sewer lines in the vicinity of the encroachment.

3. If the District determines that any repairs or maintenance in the vicinity of the Owner's encroachment as shown on Exhibit 2 are required, Owner agrees to pay for costs incurred by District in doing so to the extent they exceed the costs which would be incurred but for the encroachment. These costs include but are not limited to (1) removal of the encroaching structures and (2) use of a trench box during excavation, rather than an open cut.

4. Owner agrees to pay the District for any documented costs incurred by Owner in connection with preparing this Agreement including costs for which Owner is responsible hereunder within thirty (30) days from its receipt of invoices therefor failing which the District may pursue collection efforts plus interest on the costs at 1.5% per month, collection costs and reasonable attorney's fees.

THE EASEMENT AGREEMENT as amended hereby is hereby ratified, confirmed and approved and continues in perpetuity, runs with the Owner's land and is binding on the Owners and their successors and assigns.

SIGNED as of the day and year above written.

CITY OF CHERRY HILLS VILLAGE
SANITATION DISTRICT

By [Signature]
President

ST. MARY'S ACADEMY OF THE SISTERS OF
LORETTO

By [Signature]
Authorized Officer
President / CEO

STATE OF COLORADO)
CITY AND COUNTY OF DENVER)

ss.

The foregoing instrument was acknowledged before me this 24th day of May, 2014, by Charles M. Schloss as President of City of Cherry Hills Village Sanitation District.

WITNESS my hand and official seal.

KATHY L. McKUNE commission expires: 3/3/18
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 19944001811
MY COMMISSION EXPIRES MARCH 3, 2018

[Signature]
Notary Public

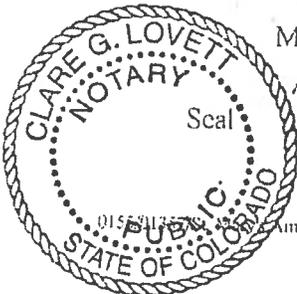
STATE OF COLORADO)
CITY AND COUNTY OF DENVER)

ss.

The foregoing instrument was acknowledged before me this 5th day of MAY, 2014, by Deirdre Coyer as President of St. Mary's Academy of the Sisters of Loretto.

WITNESS my hand and official seal.

My commission expires:
August 25, 2014

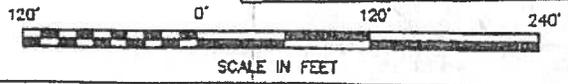
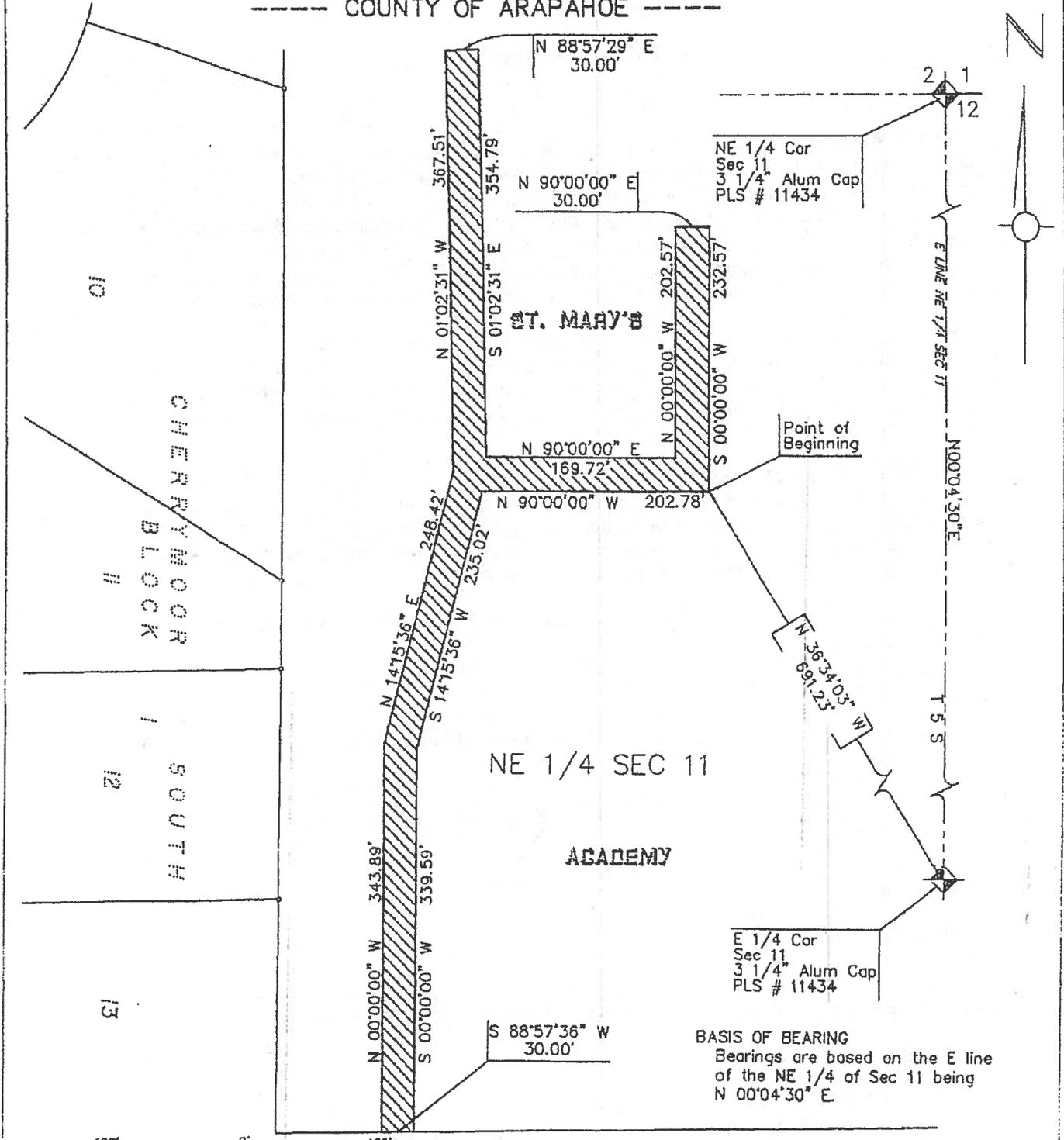


[Signature]
Notary Public

Amended Easement Agreement

NE 1/4 SECTION 11, TOWNSHIP 5 SOUTH, RANGE 68 WEST 6th P M

----- COUNTY OF ARAPAHOE -----



PARCEL CONTAINS 0.938 ACRES±

<p>LEGEND</p> <p> EASEMENT/PROPERTY ACQUIRED</p>	<p>30' SANITARY SEWER EASEMENT</p> <p>ST. MARY'S ACADEMY</p>		<p>CHERRY HILLS SANITATION DISTRICT</p>	
	<p>DRN. B.J.P. P.M. S.</p> <p>APPD</p> <p>SHEET 1 OF 1 SHEETS</p>	<p>DATE: October 1, 1999</p> <p>SCALE: 1" = 120'</p>	<p>CAD</p>	<p>SANESMT</p>

TCB DENVER

OCT 04 1999

LEGAL DESCRIPTION

11

A THIRTY (30) FOOT WIDE NON-EXCLUSIVE SANITARY SEWER EASEMENT OVER AND ACROSS ST. MARY'S ACADEMY, A PART OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPLE MERIDIAN, CITY OF CHERRY HILLS VILLAGE, COUNTY OF ARAPAHOE, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 11, WHENCE THE NORTHEAST QUARTER CORNER THEREOF BEARS N 00°04'30" E, AND MONUMENTED AS NOTED;
THENCE N 36°34'03" W, A DISTANCE OF 691.23 FEET TO THE POINT OF BEGINNING;
THENCE N 90°00'00" W, A DISTANCE OF 202.78 FEET;
THENCE S 14°15'36" W, A DISTANCE OF 235.02 FEET;
THENCE S 00°00'00" W, A DISTANCE OF 339.59 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 11;
THENCE ALONG SAID SOUTH LINE S 88°57'36" W, 30.00 FEET;
THENCE DEPARTING FROM SAID SOUTH LINE N 00°00'00" W, A DISTANCE OF 343.89 FEET;
THENCE N 14°15'36" E, A DISTANCE OF 248.42 FEET;
THENCE N 01°02'31" W, A DISTANCE OF 367.51 FEET;
THENCE N 88°57'29" E, A DISTANCE OF 30.00 FEET;
THENCE S 01°02'31" E, A DISTANCE OF 354.79 FEET;
THENCE N 90°00'00" E, A DISTANCE OF 169.72 FEET;
THENCE N 00°00'00" W, A DISTANCE OF 202.57 FEET;
THENCE N 90°00'00" E, A DISTANCE OF 30.00 FEET;
THENCE S 00°00'00" W, A DISTANCE OF 232.57 FEET TO THE POINT OF BEGINNING.

CONTAING 40,897 SQUARE FEET OR 0.938 ACRES MORE OR LESS.



James D. Walker
JAMES D. WALKER
P.L.S. 20699

TOGETHER WITH ALL SEWER FACILITIES LOCATED WITHIN THE FOREGOING 30' EASEMENT. AND, BUT NOT LIMITED TO, ALL PIPES, MANHOLES, CONNECTION DEVICES AND ANY AND ALL OTHER PERSONAL PROPERTY ASSOCIATED WITH AND/OR PART OF THE SEWER SYSTEM.

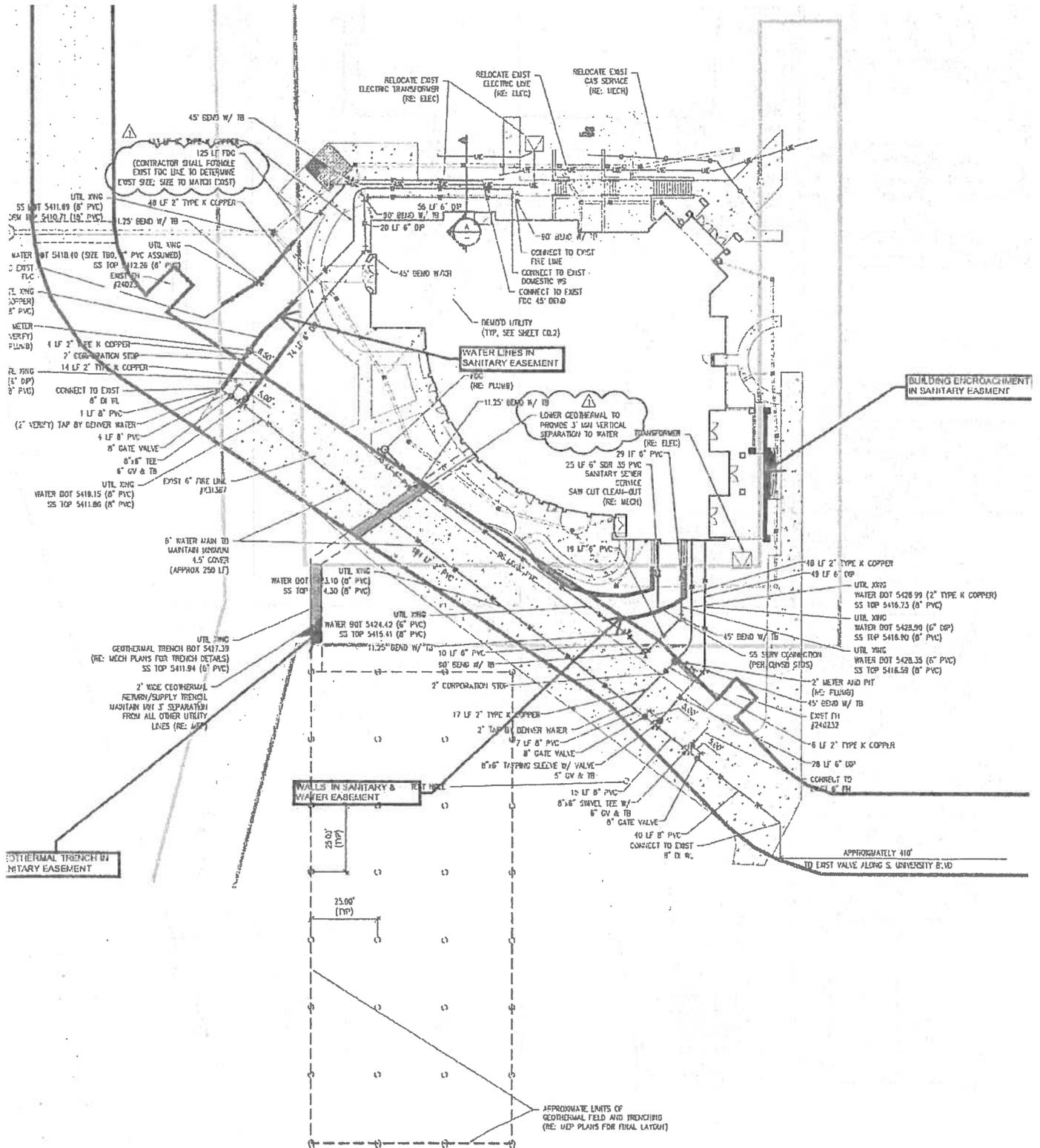


EXHIBIT 2



DENVER WATER

January 16, 2014

Kenneth J. Clifford
JVA, Inc.
1319 Spruce St
Boulder, CO 80302

Re: 4545 S UNIVERSITY BLVD, Lot 1 Blk 1, St. Mary's Academy Filing No. 1

Dear Mr. Clifford:

The above described property is in the City of Cherry Hills Water District. This site is eligible to receive water service subject to compliance with Denver Water's Operating Rules, Engineering Standards, regulations and charges and the City of Cherry Hills Water District's regulations and charges. Please check the fire requirements for the proposed development with the Fire Prevention Bureau and the availability of the fire flow from existing mains with Denver Water's Hydraulics Department prior to proceeding with the project.

If there are any questions or concerns regarding the information being provided, please call me at 303-628-6103.

Sincerely,



Valerie L Serna
Plan Review Coordinator III
Sales Administration



DENVER WATER

May 22, 2014

Owner/Developer
c/o Ken Clifford, P.E.
JVA, Inc.
1319 Spruce St
Boulder, CO 80302

Dear Mr. Clifford:

These are the approved plans for the water main(s) to SAINT MARY'S ACADEMY COMMUNITY BUILDING, Project I.D. # 17334.

It is your responsibility to notify the following individuals:

1. All customers possibly affected by any outage of water during construction.
2. Please contact our Engineering Division at 303-628-6038, to schedule the pre-construction meeting.
3. The Water Line Contractor will be billed for time Denver Water Inspectors spend on this job site beyond their normal working hours. To arrange for after-hours inspection, please contact the on-site Inspector.

In addition, you are reminded of the following requirements:

1. Any deviations from the approved plans must be approved in advance by Denver Water.
2. The new water mains must be chlorinated and flushed prior to the appropriate health agency taking sample(s) for bacteriological tests. Prior to the purchase of any water taps, Sales Administration must receive a copy of the health release.
3. The Developer, or the Developers representative, is to contact the Development Review Coordinator whose name appears below and schedule an appointment to purchase the stub-ins or water taps to be installed under this project. Failure to schedule this appointment may result in a sizable delay in the purchase of taps.
4. One (1) copy of the approved plans must be available on the site at all times.

If you have any other questions or need assistance, please contact me at 303-628-6103.

Sincerely,



Valerie L. Serna
Plan Review Coordinator III
Enclosure(s)

Attachment No. 1

THIS DOCUMENT SHALL BE ATTACHED TO ALL PLANS
APPROVED BY THE DENVER WATER DEPARTMENT
INSPECTION BY THE DENVER WATER DEPARTMENT

The contractor is hereby advised that the Denver Water Department will inspect the contractor's work on a frequent basis. Said inspection is solely for Denver Water Department purposes and is solely utilized to determine whether the work performed by the contractor has been performed in accordance with the Department's Engineering Standards and the construction plans and specifications as approved by the Denver Water Department. The Denver Water Department inspector has full authority to require that any item or work which is found not to be constructed or installed in accordance with said Engineering Standards and approved construction plans shall be corrected by the contractor. The inspector shall have the right to reject any material which does not meet requirements of said specifications. Said material shall be immediately removed from the job site. The inspector shall first report any deficient item or work to the engineer or his inspector if present at the work site, and if they are not present, to the superintendent or foreman for the contractor present. If the deficient item brought to the attention of the engineer or his inspector, or the contractor's superintendent or foreman is not corrected as required by the Department's inspector, the inspector shall have the authority to cause all work on the project to be stopped until the deficient item(s) are corrected. All field modifications required by the Denver Water Department Inspectors are subject to the responsibility provisions of Denver Water Department's Engineering Standard 2.08.

Tap # 328

**CITY OF CHERRY HILLS VILLAGE
2450 EAST QUINCY AVENUE, CHERRY HILLS VILLAGE, COLORADO 80110**

APPLICATION FOR LICENSE TO TAP WATER LINE

Owners Name(s) ST. MARY'S ACADEMY Tap Fee \$9000.00
Street Address 4545 SOUTH UNIVERSITY BLVD Check # 34555
ENGLEWOOD CO 80110 Date 5-23-14

Legal Description _____
(Attach meets and bounds description, if necessary)

Telephone Number 303-783-6207

The undersigned hereby applies for permission to tap water lines of the City of Cherry Hills Village (City) for the hereinafter described property(s), and the undersigned, by this application, agrees to be bound by and to comply with applicable rules, regulations and engineering standards of the City and the Denver Water Board (Board) as the same now exist or may hereafter be amended. Copies of the rules, regulations and engineering standards are available for inspection at the City offices, 2450 East Quincy Avenue, during regular business hours.

Upon complete execution of this and the Board "Application for Water Supply License" (or Englewood Water Supply License Application) and payment of appurtenant fees, the applicant shall have a license to receive water service from the City Water System.

The applicant is the owner of the premises described herein or is the AUTHORIZED AGENT of said owner.

Service hereunder provided shall be limited to such water as may be available under the conditions which exist from time to time. The City DOES NOT GUARANTEE to maintain conditions such that the premises can receive an uninterrupted supply of water. The City accepts NO RESPONSIBILITY for the size, connection, location or method of operation of any distribution mains or water taps.

Applicant agrees to pay such rates, fees, tolls, or charges, or combination thereof, as established by the Board (Englewood) and the City from time to time.

Water service is dependant upon and subject to the terms and conditions of the applicable Distributor's Contract with the Board (Englewood). The Distributor's Contract is available for inspection at the City offices during regular business hours.

ALL WATER TAPS, RELATED HARDWARE AND SERVICE LINES EXTENDING FROM THE PROPERTY LINE TO AND INCLUDING THE STRUCTURE, ARE THE PROPERTY OWNER'S AND MUST BE MAINTAINED AT THE PROPERTY OWNER'S EXPENSE.

Owner is liable for all damages caused by any leaks from said water lines, related hardware, and service lines and indemnifies the City for any loss (including reasonable attorney's fees) caused to it by property owner's failure to satisfy said liability.

*J. McAlloran, CFO
Applicant

WATER TAP PERMIT

City of Cherry Hills Village acknowledges receipt of \$9000.00 in payment of water user's tap charges and authorizes the City of Denver (Englewood), Colorado to issue a license to tap the water line for the service above described. This water tap permit shall be valid for 120 days only from the date of application as shown above noted. In the event that this permit is not used and the water connection not made within said 120 days, it shall become void, and all rights thereto shall forthwith revert to the City of Cherry Hills Village. In such event the applicant's tap fee WILL NOT BE REFUNDED.

I hereby authorize a 2 1/2 inch tap to be attached to Cherry Hills Village facilities.

BY [Signature]
Authorized Agent Cherry Hills Village

DENVER WATER
WATER SUPPLY LICENSE
OUTSIDE THE CITY AND COUNTY OF DENVER

<input type="checkbox"/> In Ground <input type="checkbox"/> Well <input type="checkbox"/> Conversion Volumetric Tap	<input type="checkbox"/> New Tap <input type="checkbox"/> Conversion	Application Date: <u>5/22/14</u> Tap Number:
--	---	---

COMPLETED BY APPLICANT

Property Address: **4545 South University Boulevard**

Bldg/Unit #: **Middle School** City: **Englewood** Zip Code: **80113**

Subdivision: Bldg: Lot: Sq. Ft. (Lot Size): **1,074,748**

This License for a **2** inch tap is being applied to serve: (pick one)
 Tap size
 Single-Family Residence (One tap, one structure)
 Multi-Family Residence (One tap, one structure, multiple units) Number of units: _____
 Commercial (One tap, one structure)
 Irrigation Only
 Fire Protection Only
 Other, please explain: **School - Move existing tap.**
 Are there a second sources of water at this property (well, ditch, etc.) yes no
 If yes, what is the additional source? **WELL**

Any variation in the above described water usage could result in additional fees or fines, interruption of water service and/or both.

I authorize a 2 inch tap to be attached to 4545 S. University Blvd. facilities.
 Distributor Representative: Cesana Mary Date: 5/22/14

Contract Number: _____
 Comments: _____

You must contact Denver Wastewater Management Office at 303-446-3578 for information and charges on your wastewater facilities at this property.

This Water Supply License is made under and subject to the following conditions:

- This License is subject to the Charter of the City and County of Denver acting by and through its Board of Water Commissioners ("Board"), the Operating Rules and Engineering Standards as they may be changed from time to time.
- When approved by the Board, this document constitutes a license to receive water service at the above stated property address within its legally described boundaries from the system owned, operated or served by the Board.
- The OWNER/AGENT is the owner of the premise described herein or is the authorized agent of the owner.
- Water service is limited to water available under the conditions which exist from time to time. The Board DOES NOT GUARANTEE to maintain conditions such that the premise can receive uninterrupted supply of water. The Board accepts no responsibility for the size, connection, pressure, location, or method of operation of any distribution mains or service lines not owned and operated by the Board.
- The tap must be reasonably sized in relation to the size and use of the licensed property in the judgment of Denver Water.
- Charges due accrue against the property. Water service may be suspended whenever any charge is past due. Service may also be suspended, and this license may be deactiviated or revoked for violations of Denver Water's Operating Rules.
- OWNER/AGENT agrees to pay such rates, fees and charges, as established by the Board from time to time.
- The OWNER/AGENT understands the Water Supply License must be activated as required in the Operating Rules and Engineering Standards of the Board in order to receive water.

I have read and understand the above statement regarding the BFPA

Signature of Applicant: [Signature] (Owner/Developer) Date: 5/22/2014

Application will not be accepted until fully completed and signed.

Name: St. Mary's Academy	Correspondence Address: 4545 South University Boulevard
City: Englewood	State: CO Zip Code: 80113
Phone Number: (303) 762-8300	<input checked="" type="checkbox"/> Property Owner <input type="checkbox"/> Authorized Agent
Signature of owner or authorized agent: <u>[Signature]</u> CEO	Date: <u>5/22/2014</u>



DENVER WATER
WATER SUPPLY LICENSE
OUTSIDE THE CITY AND COUNTY OF DENVER

ANY USE OF WATER FROM THIS TAP IS PROHIBITED UNTIL THE METER HAS BEEN SET BY DENVER WATER PERSONNEL

For Denver Water Use Only: New Tap Conversion

Application Date: 5/23/14

Volumetric Tap Premise ID: 328 Tap Number: 328

COMPLETED BY APPLICANT

Property Address: **4545 South University Boulevard**

Bldg/Unit #: **Community Building** City: **Englewood** ZIP Code: **80113**

Subdivision: **Englewood** Blk: **1,074,748** Lot: **80113** Sq. Ft. (Lot Size): **1,074,748**

This License for a 2 -inch tap is being applied to serve: (pick one)

Single-Family Residence (One tap, one structure)

Multi-Family Residence (One tap, one structure, multiple units) Number of units: _____

Commercial (One tap, one structure)

Irrigation Only

Fire Protection Only

Other, please explain: **School**

Are there a second sources of water at this property (well, ditch, etc.) yes no

If yes, what is the additional source? WELL

Any variation in the above described water usage could result in additional fees or fines, interruption of water service and/or both.

TO BE COMPLETED BY DISTRIBUTOR

I authorize a 2 -inch tap to be attached to 4545 S. University Blvd. facilities.

Distributor Representative: Deanna Wancy Date: 5/23/14

Contract Number: _____

Comments:

You must contact Denver Wastewater Management Office at 303-446-3578 for information and charges on your wastewater facilities at this property.

This Water Supply License is made under and subject to the following conditions:

1. This License is subject to the Charter of the City and County of Denver acting by and through its Board of Water Commissioners ("Board"), the Operating Rules and Engineering Standards as they may be changed from time to time.
2. When approved by the Board, this document constitutes a License to receive water service at the above stated property address within its legally described boundaries from the system owned, operated or served by the Board.
3. The OWNER/AGENT is the owner of the premise described herein or is the authorized agent of the owner.
4. Water service is limited to water available under the conditions which exist from time to time. The Board DOES NOT GUARANTEE to maintain conditions such that the premise can receive uninterrupted supply of water. The Board accepts no responsibility for the size, connection, pressure, location, or method of operation of any distribution mains or service lines not owned and operated by the Board.
5. The tap must be reasonably sized in relation to the size and use of the licensed property in the judgment of Denver Water.
6. Charges due accrue against the property. Water service may be suspended whenever any charge is past due. Service may also be suspended, and this License may be deactivated or revoked for violations of Denver Water's Operating Rules.
7. OWNER/AGENT agrees to pay such rates, fees and charges, as established by the Board from time to time.
8. The OWNER/AGENT understands the Water Supply License must be activated as required in the Operating Rules and Engineering Standards of the Board in order to receive water.

I have read and understand the above statement regarding the BFPA

This water service may require a backflow prevention assembly (BFPA). Please call Denver Water's Cross Connection Control group at 303-628-5969 to determine the type, model, size and location of the BFPA. Failure to install a BFPA in accordance with Denver Water's Engineering Standards may result in re-inspection charges and added construction cost prior to setting the meter.

Signature of Applicant: Deanna Wancy, CEO Date: 5/22/2014

(Owner/Developer)

Application will not be accepted until fully completed and signed.

Name:	St. Mary's Academy	Correspondence Address:	4545 South University Boulevard
City:	Englewood	State:	CO
Phone Number:	(303) 762-8300	Zip Code:	80113
Signature of owner or authorized agent:	<u>Deanna Wancy, CEO</u>	<input checked="" type="checkbox"/> Property Owner	Date: <u>5/22/2014</u>
		<input type="checkbox"/> Authorized Agent	



SOUTH METRO FIRE RESCUE AUTHORITY

LIFE SAFETY BUREAU

9195 E Mineral Ave, Centennial, CO 80112

PHONE: 720 989 2230 www.southmetro.org FAX: 720 989 2030

Project Name:	St. Mary's Academy	Permit:	2018759
Address:	4545 S. University Boulevard	Suite:	Community Center
City:	Cherry Hills Village	County:	Arapahoe
Zip:	80113		
Submittal Type:	Construction – New Building	Construction Type:	II-B
Adopted Codes:	12 IFC 12 IBC NFPA Codes: N/A	Occupancy Class:	E/A-3
Jurisdiction:	City of Cherry Hills Village	Project Area (sf):	22,772
Date of Review:	April 1, 2014	Fire Alarm:	Yes
Plan Reviewer:	Criss Dickhausen – (720) 989-2246 criss.dickhausen@southmetro.org	Sprinkler:	Building Fully Sprinklered
Contractor:	Haselden Construction	Phone:	(303) 728-3776
Contact:	Christian Ekstrom	Other:	christianekstrom@haselden.com

POST THIS LETTER ON JOBSITE

SURVEY

Let us know how we are doing. South Metro Fire Rescue now has a customer survey available on our website at www.southmetro.org. Select the Plans/Permits/Inspections tab and scroll down to the survey. Your comments to us will be anonymous but will be considered seriously in examining our services and procedures.

SCOPE OF WORK: Construction of a new E/A-3 Community Center structure for the existing St. Mary's Academy campus (see project data on next page).

BUILDING CODE SUMMARY	
BUILDING AREA	22,772 SF TOTAL
LOWER LEVEL	11,320 SF
MAIN LEVEL	11,452 SF
JURISDICTION	CHERRY HILLS VILLAGE, COLORADO
FIRE DEPT.	SOUTH METRO FIRE RESCUE
BUILDING CODES	2012 INTERNATIONAL BUILDING CODE 2012 INTERNATIONAL MECHANICAL CODE 2012 INTERNATIONAL FIRE CODE 2012 INTERNATIONAL FUEL GAS CODE 2012 INTERNATIONAL ENERGY CONSERVATION CODE 2011 NATIONAL ELECTRICAL CODE
OCCUPANCY	§ WITH ACCESSORY A3, NON SEPARATED USE
MAX. BUILDING AREA	E = 14,500 SF AREA INCREASE X 20% = 28,000 SF
BUILDING TYPE	TYPE II-B, SPRINKLERED
DESCRIPTION OF CONSTRUCTION	SLAB ON GRADE UPPER LEVEL FLOOR ROOF SYSTEM COLUMNS AND BEAMS INTERIOR BEARING WALLS INTERIOR PARTITIONS SHAFT WALLS
OCCUPANT LOAD	(A3) ASSEMBLY: MULTI PURPOSE: 4,152 SF/7 = 593 (E) EDUCATIONAL: CLASSROOMS: 1,755 SF/20 = 88 VOCATIONAL: 3,281 SF/50 = 66 FDC: 1,755 SF/35 = 50 STOR MECH: 1,755 SF/300 = 5 REMAINDER: 1,755 SF/100 = 17.55 (A3) TOTAL = 688 (E) TOTAL = 208 TOTAL COMBINED OCCUPANT LOAD = 901
BUILDING EXITS	ASSEMBLY 3, MAIN LEVEL 3, LOWER LEVEL 7
EXRESS WIDTH	REQUIRED = 103" PROVIDED = 510"
FIRE RESISTIVE REQUIREMENTS	EXTERIOR BEARING WALLS NR (NON-RATED) INTERIOR BEARING WALLS NR EXTERIOR NON BEARING WALLS NR STRUCTURAL FRAME NR PERMANENT PARTITIONS NR SHAFT ENCLOSURES 1 HR CORRIDORS NR FLOORS NR ROOFS NR EXTERIOR DOORS NR EXTERIOR WINDOWS NR
AREA OF RESCUE	NOT REQUIRED
PLUMBING FIXTURES	TOILET URINAL LAVATORY DRINKING FTN
MAIN LEVEL MALE	2 2 4
MAIN LEVEL FEMALE	7 5
MAIN LEVEL UNSEX (EDUC)	4 7 1
LOWER LEVEL MALE	1 3 2
LOWER LEVEL FEMALE	0 4
LOWER LEVEL UNSEX	0 0 2
TOTAL MALE	3 5 7
TOTAL FEMALE	12 9 0
TOTAL UNSEX	10 7 13 1
TOTAL	25 6 20 3
ALLOWABLE BLDG HGT.	E= 2-STORIES AND 35 FEET MAX SEE THIS SHEET FOR CHV COMPLIANCE

Building:	Referenced Codes		2012 IFC	2012 IBC
Construction Type	II-B			
# of Stories Above Grade	1	Proposed building area (ft ²)	22,772	Required Fire Flow (gpm) 3250
# of Stories Below Grade	1	Allowable bldg area (ft ²)	29,000	Adjusted Fire Flow -50% 1625
Height of Building (ft)	34	1 st floor area (ft ²)	11,452	Number of Hydrants Req. 1
		Total building occupant load	901	Average hydrant spacing 500
Automatic Sprinkler System	Yes	Sprinkler Type	NFPA 13	Fire Alarm System Yes
Standpipes	No	Building Use	Education	IBC Occupancy Class E
Underground fire line size (in)	6	Accessory Use Areas	Assembly	IBC Occupancy Class A-3

South Metro Fire Rescue's Life Safety Division has reviewed this submittal and has approved the plans with the following comments:

UNRESOLVED ISSUES:

- As a result of the construction of the Community Center, the existing underground fire line and remote fire department connection (FDC) piping will be relocated and reinstalled for the Middle School structure on this campus. A separate permit must be obtained for the underground fire line for the Middle School structure to ensure that South Metro Fire Rescue Authority inspects and conducts required acceptance testing for this water line.

SITE SPECIFIC COMMENTS:

- Occupant load signage shall be provided in the following areas:

ROOM NAME/NUMBER	OCCUPANT LOAD
LL Multi-Purpose Room 101A	109
LL Multi-Purpose Room 101B	109
LL Multi-Purpose Room 101A/101B COMBINED	218
Dining Hall/Multi-Purpose Room 204	593

- The District requires that fire apparatus access roads meet the clear-width and weight-bearing standards of the jurisdiction in which the project is located. Roadways shall be designed to support the imposed weight of fire apparatus, 24 ton two axle and 30 ton three axle vehicles. An unimpeded clear width of **20 feet** shall be maintained at all times. As such, any location where parked vehicles would obstruct this clear width requirement will require "NO PARKING – FIRE LANE" signage. This signage shall be red on white. Painted curbs shall be allowed though not in lieu of fire lane signage. Signage requirement compliance will be field verified at the time of inspection. **This access must be maintained throughout the construction process.**
- Approved access shall be provided prior to the onset of vertical construction. Typically, this means first lift and curb and gutter.
- Combustible construction will not be permitted until such time the fire hydrants and water infrastructure have been approved and the curb and gutter, as well as the first lift of asphalt, have been completed.
- All wall types shall be clearly STENCILED as to type (ONE HOUR, TWO HOUR, ETC) above the ceiling tile. This identification shall be required on both sides of the walls. Non-rated walls shall be clearly identified as well. The "wall type" stenciling shall be placed such that it is easily identifiable by emergency crews at any point that they penetrate a ceiling tile. The stenciling shall be in red and the letters shall be at least six inches in height with a 3/4 inch stroke.
- Provide separate fire alarm system shop drawings, cut sheets and calculations to this office. Prior to submittal they shall be stamped by the engineer of record or a NICET level III or higher. Ensure that duct detection is detailed on the fire alarm submittal. **The main fire alarm control panel and a graphic map shall be located in "RECEPTION/ADMINISTRATION" area and fully functioning Annunciator panels (i.e., the ability to silence and reset the system from that location), as well as graphic maps, shall be provided directly adjacent to the water entry room where the note stating "FIRE ALARM MAIN PANEL" is shown on Sheet A201 ("ATHLETIC STORAGE") and within "VESTIBULE 200A".** This structure will also require the installation
- When responding to an emergency situation in structures of this type, it is imperative that our crews be able to discern between mechanical, electrical and storage rooms so the safety of the crew is not compromised at any time. All signage shall be constructed using easily readable letters on a contrasting background.
- Fire extinguishers shall be installed in accordance with Section 906 of the 2012 International Fire Code. Fire extinguishers will also be required in any high hazard area including mechanical rooms, electrical rooms, and elevator equipment rooms, etc. Provide 2A-10BC fire extinguishers in these areas. All fire extinguishers shall be mounted between three to four feet above the finished floor. Fire extinguisher placement and distribution will be field verified at the time of inspection. All extinguishers are required to be tagged and dated at the time of inspection.
- Based upon the size and construction of this building, it is likely that fire department radios will be ineffective within the structure. It is required that you engage a company to audit your building, once the windows have been installed, to perform a test to determine the effectiveness of fire District radios. If ineffective, an approved bi-directional radio-amplification (BDA) system shall be installed. Shop drawings shall be submitted to this office for review and approval.
- All egress doors from this building shall be easily openable from the inside without the use of a key or special knowledge or effort. The main entry, is allowed to have lockable hardware, provided that a thumb turn lock IS NOT used and a sign is placed above the doors that states ***"THIS DOOR TO REMAIN UNLOCKED WHILE***

"BUILDING IS OCCUPIED". This scenario for the main door is in lieu of meeting the easily openable requirement of the code.

11. Two (2) Knox key boxes shall be provided for this building. One box shall be mounted adjacent to the water entry room. The Knox box location shown on Sheet A201 shall be changed as noted on the submitted plan set (plans shown box on the interior of the structure and the Knox box must be on the exterior). A second Knox box shall be installed at the main level on the exterior adjacent to "VESTIBULE 200A". The key boxes MUST be a minimum 4100 or 4400 series in order to hold the required two sets of keys, including access card keys. The Contractor may order the boxes on-line at www.knoxbox.com. The Knox boxes shall be mounted 5' to 6' AFF and shall contain a master key for all exterior and interior doors. Also required are any keys necessary to operate installed fire protection and alarm equipment. If fire alarm or sprinkler systems are completed prior to CO or TCO, the general contractor shall provide a construction master key and the systems put on line.

12. It is not uncommon for facilities of this type to incorporate access control systems into their operations. Should this be the case, provide separate shop drawings, cut sheets and calculations to the South Metro Fire Rescue Fire Authority for review and approval. Access control egress doors must comply with Section 1008.1.3.4 of the International Fire Code. I have included this section for your reference:

1008.1.3.4 Access-controlled egress doors. *The entrance doors in a means of egress in buildings with an occupancy in Group A, B, E, M, R-1 or R-2 and entrance doors to tenant spaces in occupancies in Groups A, B, E, M, R-1 and R-2 are permitted to be equipped with an approved entrance and egress access control system which shall be installed in accordance with all of the following criteria:*

1. A sensor shall be provided on the egress side arranged to detect an occupant approaching the doors. The doors shall be arranged to unlock by a signal from or loss of power to the sensor.
2. Loss of power to that part of the access control system which locks the doors shall automatically unlock the doors.
3. The doors shall be arranged to unlock from a manual unlocking device located 40 inches to 48 inches (1016mm to 1219 mm) vertically above the floor and within 5 feet (1524 mm) of the secured doors. Ready access shall be provided to the manual unlocking device and the device shall be clearly identified by a sign that reads: PUSH TO EXIT. When operated, the manual unlocking device shall result in direct interruption of power to the lock—*independent of the access control system electronics*—and the doors shall remain unlocked for a minimum of 30 seconds.
4. Activation of the building fire alarm system, if provided, shall automatically unlock the doors, and the doors shall remain unlocked until the fire alarm system has been reset.
5. Activation of the building automatic sprinkler or fire detection system, if provided, shall automatically unlock the doors. The doors shall remain unlocked until the fire alarm system has been reset.
6. Entrance doors in buildings with occupancy in Group A, B, E or M shall not be secured from the egress side during periods that the building is open to the general public.

Should "Delayed Egress" be incorporated into this project, ensure that the delayed egress component of the project complies with section 1008.1.8.6 of the IFC.

Approved "free-egress" type door hardware shall be provided for the courtyard areas. The hardware shall be installed so that occupants that use or accidentally find themselves in the courtyard will not find themselves locked in these areas.

13. Should an emergency generator be proposed for this project, this item requires a separate submittal of shop drawings and cut sheets to be submitted for review and approval.
14. Provide separate underground fire line shop drawings for the 6 inch fire line. Ensure that the shop drawings comply with the most recent edition of NFPA 24 Installation of Private Fire Service Mains and Their Appurtenances.
15. Provide separate automatic fire sprinkler system shop drawings, cut sheets and calculations to this office. Documents shall be stamped by the engineer of record or a NICET level III or IV in accordance with State regulations.

16. A rough sprinkler inspection of any ceilings within this structure that will be constructed of drywall (hard-lid) shall be conducted by the South Metro Fire Rescue Authority PRIOR to the hard-lid being installed.
17. Emergency lighting shall be provided in the fire sprinkler control room.
18. The fire sprinkler control room shall be provided with direct exterior access. In addition to a concrete sidewalk provided to the fire sprinkler control room, a concrete walkway to and around the FDC shall be provided to ensure maintenance of the 36 inch clearance requirement.
19. Ensure that the fire sprinkler control room has permanent heat to protect water-filled pipe from freezing. This heat must be hard wired into the building electrical system. Room heaters that are plugged into a wall receptacle are not acceptable.
20. Combustible loading of this structure will not be permitted until such time the automatic fire sprinkler system, fire alarm system and all life safety components (i.e., emergency lighting, exit signage, path of egress analysis, etc.) have been inspected, tested and approved by the South Metro Fire Rescue Authority.
21. The address for this structure shall be clearly posted and visible from the addressable side. If the addressable side is not the front of the building, then the address shall be posted on the front of the building as well. Ensure that the address is plainly legible and visible from the street or road fronting the property **throughout the construction process**. Numbers shall contrast with their background, be weather resistant and be maintained until replaced by permanent signs.
22. Where live loads for any floor or portion of floor for a commercial or industrial building are designed to exceed 50psf, the design load must be conspicuously and permanently posted, by the owner, prior to CO, on durable material, in each part of each story in which they apply. It is unlawful to remove or deface these signs and/or to load in excess of the design. [09 IBC 106]
23. The required fire department access and fire hydrants shall be installed prior to any construction above foundation level or the moving of combustible materials onto the construction site. The Contractor shall make arrangements with South Metro Fire Rescue to have an inspection and approval of the access and hydrants, prior to construction on site. The access road is required to be constructed of an all weather surface (asphalt or concrete).
24. Separate plan submittal and permits are required for the following:
 - Access control
 - Clean agent system
 - Generator
 - Fire alarm
 - Fire sprinkler
 - Fire pump
 - Kitchen hood fire suppression system
 - Hazardous materials storage and use
 - High piled storage
 - Radio amplification
 - Smoke control – see website for submittal requirements
 - Standpipe
 - Temporary access roads
 - Temporary heat
 - Underground fire line

General Requirements:

1. Provide access to fire/smoke dampers and permanently label the ceiling grid in minimum 1/2" letters, red on white background, FIRE DAMPER. Identify on fire alarm plans, how the combination fire/smoke dampers will be controlled to satisfy requirements of the Building Code. [09 IBC 716.4]
2. Air-moving systems supplying air in excess of 2000 cubic feet per minute shall be equipped with an automatic power shutoff by means of smoke detection in the main air duct and connected to the fire alarm

system (if present) to report a supervisory signal. The fire alarm design and sequence of operations must indicate method of control of air handling systems. [02 NFPA 72: 6.15.5] [07 NFPA 72: 6.16.5] [10 NFPA 72: 23.17.2]

Duct smoke detectors shall be installed in the return air duct or plenum unless all portions of the building served by that air distribution system are protected by area smoke detection connected to the fire alarm system. [09 IMC 606.2.1 and 606.2.2]

Supervision. The duct smoke detectors shall be connected to a fire alarm system where the alarm system is required per 09 IFC 907.2. The actuation of a duct smoke detector shall activate a visible and audible supervisory signal at a constantly attended location or the FACP. [09 IMC 606.4.1]

Exception 2. In occupancies not required to be equipped with a fire alarm system, actuation of a smoke detector shall activate a visible and an audible signal in an approved location. Duct smoke detector trouble conditions shall activate a visible or audible signal in an approved location and shall be identified as air duct detector trouble. [09 IMC 606.4.1]

3. Please submit a current water flow test performed on site by the water provider confirming the availability of the required fire flow from the new hydrants.
4. Minimum 5# ABC fire extinguishers must be installed not to exceed a 75' travel distance from any point in the office area. Minimum 10# extinguishers are recommended for manufacturing and storage areas.
5. Please complete the following information and provide to the inspector

Building owner _____ Phone _____

Mail address _____ Email _____

City, St, Zip _____

Property Mgr _____ Phone _____

Mail address _____ Email _____

City, St, Zip _____

Provide three persons and their titles with the company in the order they are to be called in the event of an emergency			
Name	Title	Phone 1	Phone 2
1.			
2.			
3.			

For buildings provided with a fire alarm N/A

Alarm Monitoring Co _____ Phone _____

FIRE DEPARTMENT SITE ACCESS

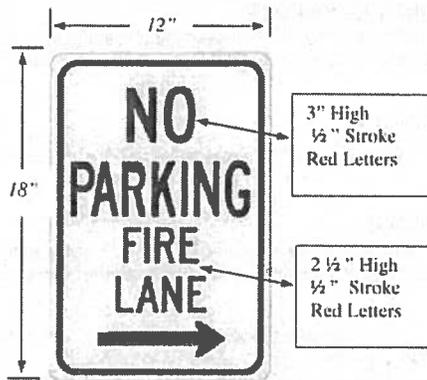
General. The required width of a fire apparatus access road shall not be obstructed in any manner, including parking of vehicles. Minimum required widths and clearances established under Section 503 of the IFC shall be maintained at all times. The fire apparatus access road shall be posted to prohibit such roads from being obstructed by parked or standing vehicles [09 IFC 503.3].

The International Fire Code requires fire apparatus access roads to be designed and maintained to support the imposed loads of fire apparatus. Fire apparatus access roads in the South Metro Fire Rescue district shall be designed as heavy traffic drive areas to support the imposed loads of 71,700 pounds. South Metro Fire Rescue is not responsible for damage to any fire apparatus access road.

FIRE LANE SIGNS

Dimension

The NO PARKING – FIRE LANE sign shall be 12 inches wide and 18 inches high.



Characteristics

Signs shall be engineer grade reflective sheeting on 0.80 aluminum with red lettering on a white background.

Where Required

- Fire apparatus access roadways shall be a minimum of 20 feet wide.
- NO PARKING – FIRE LANE signs are required in areas that meet the following criteria:
- Fire apparatus access roadways between **20 and 28 feet wide** – Signs shall be posted on **both sides**.
- Fire apparatus access roadways **between 28 feet wide and 34 feet wide** - Signs may be posted on **one side only**.

Installation

Placement of the NO PARKING – FIRE LANE signs shall be installed as follows:

The bottom edge of the signs shall be 7 feet above surface (sidewalk) and posts shall be placed 24 inches from flow line (curb).

- One at the beginning of the restriction (one arrow pointing towards the restriction zone).
- One at the end of the restriction (one arrow pointing back into restricted zone).
- One *at least* every 150 ft. within the restricted area (double arrow pointing in each direction, to indicate the continuing restriction).
- Spaced evenly within the restriction (for straight curbs/zones). For example, if the parking restriction zone is 300 ft long, only one double arrow sign is required at a distance of 150 ft. from the beginning of the restriction. If the restriction zone is 400 ft. long, two double arrow signs are required; spaced 100 ft. evenly from each other and from the beginning/ending signs.
- Spaced so that at least one readable sign is visible in front of a parked vehicle from any point along the restriction (for curved curbs/zones and areas that may present visual obstacles.)

- ♦ Set at an angle of no fewer than 30 degrees and no more than 45 degrees with the lane of traffic flow visible to approaching traffic.

Some areas may need additional fire lane signs. Check with the Life Safety Division for any additional requirements prior to placing posts.

Painting of Curbs or Streets

In addition to the required signage South Metro Fire Rescue does permit fire lanes to be painted with curb or street markings. However, these markings shall not replace the required fire lane signs. Curbs may be painted red with 3 inch white block letters stating **NO PARKING – FIRE LANE**. Lettering shall be spaced every 15 feet.

ACCESS TO REQUIRED BUILDING OPENINGS

General. Exterior doors and openings required by this code or the Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire department access road to exterior door or openings shall be provided. [09 IFC 504.2]

GAS METERS AND PIPING

Aboveground gas meters, regulators and piping exposed to vehicular damage due to proximity to alleys, driveways or parking areas shall be protected in an approved manner. [09 IFC 603.9]

COMBUSTIBLE STORAGE

Rubbish within dumpsters: Dumpsters and containers with an individual capacity of 1.5 cubic yards (40.5 cubic feet) or more shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines. [09 IFC 304.3.3]

High-Piled Combustible Storage: This facility is NOT approved for any high-piled stock and, therefore, will not be required to meet International Fire Code Article 23 requirements. No storage of any Type I-IV commodities will be permitted above 12 feet and no storage of any Type V commodity will be permitted above 6 feet unless otherwise approved, in writing, by South Metro Fire Rescue.

Equipment Rooms: Combustible material shall not be stored in boiler rooms, mechanical rooms or electrical rooms. [09 IFC 315.2.3]

HAZARDOUS MATERIALS COMPLIANCE

Please submit a *Chemical Inventory Report* listing all chemicals that will be used or stored on-site. MSDS May be requested, if needed, and will be returned to be kept on site. Based on the type and quantity of products stored on site, a Hazardous Materials Management Plan may be required to be submitted for review prior to final inspection and approval for occupancy. [09 IFC 2701.5.1]

With few exceptions, all chemicals / hazardous materials must be reported at the Chemical Reporting Website: <http://apps.douglas.co.us/apps/hazmat> per the requirements of the IFC. Reporting must be completed prior to final inspection.

ADDITIONAL SIGNS REQUIRED FOR PROJECT

General: Signs are required all for electrical rooms, mechanical rooms, sprinkler control valve rooms, janitor closets, telephone closets, hazardous materials storage rooms and similar rooms.

Lettering: All signs are to have a minimum of one inch lettering on a contrasting background. Lettering shall have a minimum stroke width of 1/8 inch.

GENERAL INSPECTION RULES

General: The following information is provided to simplify the process for scheduling an inspection.

Work: All work shall be in compliance with approved plans. However, as a result of an inspection, conditions may be found that were not apparent on the plans at the time of review. If such conditions are found, corrections shall be made to bring the project into compliance with the applicable code.

Violations: Approval as the result of an inspection shall not be construed to be an approval of a violation of any provision of any code or of any other ordinance of the jurisdiction in which the work is being performed. Inspections presuming to give authority to violate or cancel the provisions of the fire code or of any other ordinance of the jurisdiction in which the work is being performed shall not be valid.

Required Inspections: The completion, and acceptance, of life safety systems (automatic sprinkler and fire alarm systems) are required prior to fire department approval to occupy any building. The items listed above are primary items requiring inspection. This list is preliminary and can be modified once the district has reviewed all requested submittals.

Requesting an Inspection: All requests for inspection called in by 3:00 p.m. (Monday through Friday), will be scheduled for inspection the next business day, unless requested for a specific future date. Inspection requests received after 3:00 p.m. will be scheduled for the 2nd business day following the request. Please call **720.989.2231** to schedule an inspection.

We suggest that you do not use a cell phone to make the call because we won't be able to respond to your request if any of the information is lost because of a bad connection or interference.

Website inspection request: You may also request inspections through our website at www.southmetro.org Once on the website, point and click on:

Plans/Permits/Inspections, then click on Schedule an Inspection.

Please fill out all of the information completely. You can submit your request anytime but please do so at least 24 hours in advance of when you would like to have the inspection. If your request is submitted after 3:00 p.m. Monday - Friday, the inspection will not be scheduled until the second business day after your request is received.

Example - If you e-mail us at 6:00 p.m. on Monday, your inspection will be scheduled for Wednesday.

Plans and Permit/Inspection Card Availability: The contractor requesting the inspection shall have available to the inspector the plans approved and stamped by the fire district and the fire district inspection record card. **No inspection will be made without the approved plans and the inspection card on site and available to the inspector.**

After Hours Inspections: An additional after hours inspection fee of \$81.00 per hour, per inspector, (minimum 2 hours) is required to be pre-paid for inspections outside normal Life Safety Division business hours. This fee will be assessed to the holder of the permit for each inspection.

Re-inspection Fee: The re-inspection fee shall be \$81.00 with all fees paid prior to re-inspection. A re-inspection fee may be assessed for any, or all, of the following when:

1. An inspection is requested and work is not complete when the inspector arrives, and/or -
2. Corrections requested on a previous inspection are not made, and/or -
3. The inspector is unable to access the site / building to conduct the inspection
4. The contractor does not have the permit card and / or the approved plans available for the inspector.

Final Inspection: A final inspection by the fire department shall be made and all violations corrected prior to occupancy or use of the space, unless approved by our office.

SOUTH METRO FIRE RESCUE AUTHORITY

9195 E. Mineral Avenue, Centennial, CO 80112, (720) 989-2000

INSPECTION REQUEST LINE: (720) 989-2231

CONSTRUCTION PERMIT AND INSPECTION RECORD

PERMIT NUMBER 2018759

PROJECT NAME St. Mary's Academy			
PROJECT LOCATION 4545 S University Boulevard			DATE ISSUED 04/01/2014
PERMIT TYPE NEW BUILDING (SCHOOL) - E		OCCUPANCY ID 17510	PROJECT NUMBER 28712
AREA INVOLVED Community Center (Bin J-8)	SQUARE FEET 22,772	VALUE OF WORK	ALTERNATE ID

CONTRACTOR HASELDEN CONSTRUCTION (ID 13399)		BUSINESS PHONE (303) 728-3776	FAX NUMBER (303) 751-1627
STREET ADDRESS 6950 S POTOMAC ST	CITY, STATE, ZIP CENTENNIAL CO 80112	STATE LICENSE NUMBER	

Permit Benchmarks (Items To Be Inspected)

Fire Hydrants Correct number, placement and free from obstructions.	Date Rejected	By...	Date Accepted	By...
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Temporary Access Roads - SEPARATE PERMIT REQ. CONSTRUCTION ACCESS SHALL MEET THE REQUIREMENTS OF THE ADOPTED FIRE CODE. PHASING PLANS OR TEMPORARY ACCESS ROADS OF NON-PERMANENT MATERIALS SHALL BE BY SEPARATE AGREEMENT/PERMIT AND APPROVED BY SOUTH METRO FIRE RESCUE AUTHORITY.	Date Rejected	By...	Date Accepted	By...
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Access Roads	Date Rejected	By...	Date Accepted	By...
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Fire Lane Posting	Date Rejected	By...	Date Accepted	By...
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Address Posting Temporary address shall be plainly legible and visible from the street or road fronting the property <u>throughout the construction process</u> . Temporary and permanent numbers shall contrast with their background, be weather resistant and shall be maintained.	Date Rejected	By...	Date Accepted	By...
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Access Walkways Access walkways shall extend from all exits to a public way.	Date Rejected	By...	Date Accepted	By...
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Key Box (Knox)/Keys South Metro Fire Rescue Authority policy requires that when a building has a monitored fire sprinkler system, access control system or fire alarm system (whether required or not), that the building be provided with an approved fire department Knox key box containing two (2) sets of keys.	Date Rejected	By...	Date Accepted	By...
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Means of Egress Exits - number, arrangement, distance. Doors - door hardware: swing, identification. Exit illumination (emergency lighting) and exit signs (both shall have secondary power supply).	Date Rejected	By...	Date Accepted	By...
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POST THIS PERMIT ON JOB SITE

PERMIT NUMBER 2018759



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Permit Benchmarks (Items To Be Inspected)

Underground Fire Line - SEPARATE PERMIT REQUIRED	Date Rejected	By...	Date Accepted	By...
Automatic Sprinkler System - SEPARATE PERMIT REQ.	Date Rejected	By...	Date Accepted	By...
Fire Alarm/Detection - SEPARATE PERMIT REQUIRED	Date Rejected	By...	Date Accepted	By...
Access Control System - SEPARATE PERMIT REQUIRED	Date Rejected	By...	Date Accepted	By...
Generator - SEPARATE PERMIT REQUIRED	Date Rejected	By...	Date Accepted	By...
Radio Amplification (BDA) - SEPARATE PERMIT REQ.	Date Rejected	By...	Date Accepted	By...
Fire Extinguishers	Date Rejected	By...	Date Accepted	By...
Pre-Plan Worksheet Fire inspector shall complete/verify all Occupancy Profile information and complete PRE-PLAN WORKSHEET at time of building final inspection.	Date Rejected	By...	Date Accepted	By...
Fire Safety & Evacuation Plan Evacuation plan must be submitted and approved prior to Certificate of Occupancy (CO).	Date Rejected	By...	Date Accepted	By...
PRE-PLAN NOTIFICATION Notify Criss Dickhausen when all inspections have been completed and building has been finished	Date Rejected	By...	Date Accepted	By...

POST THIS PERMIT ON JOB SITE

PERMIT NUMBER
2018759



PAGE OF
2 2

RECORD OF PROCEEDINGS

Minutes of the
Planning and Zoning Commission of the City of Cherry Hills Village, Colorado
Held on Tuesday, November 12, 2013 at 6:30 p.m.
At the Village Center

CALL TO ORDER

Chair Christman called the meeting to order at 6:30 p.m.

ROLL CALL

Present at the meeting were the following Planning and Zoning Commissioners: Chair Laura Christman, Vice Chair Peter Savoie, Commissioner Jim Rubin, Commissioner Steve Szymanski and Commissioner David Wyman.

Present at the meeting were the following staff members: Robert Zuccaro, Community Development Director, and Emily Kropf, Special Projects Coordinator.

Absent was Commissioner Al Blum.

APPROVAL OF MINUTES

Vice Chair Savoie made a motion, which was seconded by Commissioner Wyman, to accept the October 8, 2013 minutes.

The motion passed unanimously.

AGENDA ITEMS***Preliminary Application Review – St. Mary's Academy Request for Expanded Use Permit to Build an Approximately 22,722 Square-Foot Community Center Building***

Mr. Zuccaro stated that staff is presenting a preliminary application review of a proposal to build an approximately 22,772 square-foot, two-story community center building. The purpose of the preliminary review is to provide feedback to the applicant prior to submittal of the full application. Once the full application is submitted, there will be public hearings before the Commission and City Council.

Mr. Zuccaro continued that the St. Mary's Academy campus is zoned R-1, 2 ½-Acre Residential District. Surrounding zoning and land uses include R-1 and R-3 zoned residential properties. The proposed building is located south of the existing middle school building, approximately 175 feet from the closest property boundary to the west. The proposed space is intended to provide additional space for lower and middle school activities that are currently located in the high school and to provide dedicated middle school foreign language and music and drama spaces.

Mr. Zuccaro said that the height of the building is proposed at 34 feet and 4 inches above the midpoint elevation, which is 4 feet and 4 inches taller than the existing middle school. From the finished grade on the west side of the building, the overall height is proposed at 44 feet and 10 inches. The total proposed finished floor area of the campus, including the community center, is 166,520 square feet, resulting in a Floor Area Ratio (FAR) of 15.5%. Other site improvements include a slight relocation of a concrete fire lane and sidewalks and exterior lighting surrounding the building.

Mr. Zuccaro stated that the applicant has provided some preliminary drainage information. Part of the previous addition of the middle school in 1999 was the construction of a detention pond on the northwest corner of the campus. According to the applicant, the proposed community center will add an additional 17,000 square feet of impervious surface to the campus. The developed runoff from the expansion will drain into the existing detention pond, which is large enough to accommodate the new impervious surface.

Mr. Zuccaro said that when the middle school was built in 1999, staff determined that there were a total of 323 parking spaces required and a total of 332 would be provided. There are currently 343 parking spaces on campus. Based on building uses together with the proposed community center expansion, the resulting number of spaces required is 369, leading to a shortage of 26 spaces. Rather than construct additional parking, the applicant has proposed a parking reduction of 7% in accordance with Municipal Code Section 16-16-10(c), which allows a parking reduction of up to 40% if the applicant can demonstrate that the parking needs of the use will be adequately served.

Mr. Zuccaro continued that the applicant's main justification for the reduction is that the Bishop Evans Gym, which requires 91 spaces based on minimum zoning requirements for assembly space, is not used for school events until after the school day ends. Thus, when there is a parking demand for the gym after school hours, parking demands from other uses that occur only during the school hours will not be present.

Mr. Zuccaro stated that the applicant will address the Commission if there are no questions for staff.

Ms. Diana Rael of Norris Design, 1101 Bannock Street, Denver, Colorado, 80204, stated that the applicant submitted a sketch plan approximately two months ago to staff for review. The applicant also held a community outreach meeting regarding the proposed building in October 2013 for surrounding residents. The proposed start date of the addition is June 2014 and the anticipated end date is March 2015. The applicant does not intend to add students to the campus but create a more modern space for learning and teaching. The proposed building will create a space that bridges the gap between the lower and middle school and the high school. Currently drama and music classes for lower students are held in the high school.

Mr. Michael Roybal of the Roybal Corporation, 7600 E. Eastman Avenue, Denver, Colorado, 80231, stated that the entrance will be located on the southwest side of the building. There will be a lobby area and multipurpose room for events, as well as offices, restrooms, kitchen facility, practice rooms and storage areas. There will also be a separate entry for the day care facility. Classrooms for music and drama are proposed to be located in the lower level of the building. The exterior of the building is intended to match the current architecture of the campus.

Chair Christman asked what the difference in regards to parking between a lunch room and a classroom.

Mr. Zuccaro replied that there is a per classroom parking requirement. The parking requirement for an assembly space is based on the number of fixed seats or the square footage if there are no fixed seats.

Chair Christman asked if the lunch room is being used as an assembly space.

Mr. Roybal stated that the space is to be used mostly as a lunch room, but it can also be used for special events.

Ms. Rael replied that assemblies for the lower school are held in the lower school gym.

Mr. Zuccaro said that the applicant might need to work on defining the space in order to determine how to count parking.

Chair Christman asked if the applicant does not want to make the space available for other events. She added that she would like to see the applicant work through the parking restrictions rather than restricting use of the room.

Ms. Rael said that it is a good suggestion.

Commissioner Rubin asked if the existing parking lots are close to capacity on a regular school day.

Ms. Rael responded no. She said that there are usually only 10 cars in the lower school lot and the middle and high school parking lot is probably 75% full.

Chair Christman stated that she has been to the campus for competitions and has had to wait for a parking space.

Ms. Rael added that there is a parking arrangement with Cherry Hills Country Club for special events, as well.

Commissioner Savoie asked if the new building will be used for shows and concerts.

Ms. Rael said no. The forum was recently renovated and is used for performing arts events.

Commissioner Savoie asked if there will be any food preparation in the cafeteria.

Ms. Rael responded no. She added that the extended day care and junior kindergarten will be relocated to the new building, and the goal is to create a lobby for the high school where the day care was located. Currently there is no central landing for the high school.

Chair Christman said that the proposal is consistent with other requests. She added that she does not want the applicant to unreasonably limit use of the space and parking.

Ms. Rael replied that she followed the review process for the field house at Kent Denver and attended the City Council hearing.

Chair Christman stated that there are other applicants that have had requested similar parking reductions.

Commissioner Rubin said that the proposed building fits in nicely with the existing structures on campus.

Commissioner Szymanski agreed. He added that the applicant might want to plan for an issue that might arise in 10 years.

Vice Chair Savoie asked if there is a master plan for the entire site.

Ms. Rael replied no but the applicant has discussed it.

Vice Chair Savoie asked what the current student body is.

Ms. Rael responded that the current body consists of 670 students and the maximum allowed is 840.

Commissioner Szymanski asked when the highest number of students was enrolled.

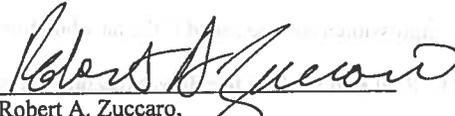
Ms. Rael replied that the student body was close to 800 in the 1980's and early 1990's.

ADJOURNMENT

The meeting was adjourned at 7:12 p.m.



Laura Christman, Chair



Robert A. Zuccaro,
Community Development Director

---DRAFT---

Minutes of the
Planning and Zoning Commission of the City of Cherry Hills Village, Colorado
Held on Tuesday, May 13, 2014 at 6:30 p.m.
At the Village Center

CALL TO ORDER

Chair Christman called the meeting to order at 6:36 p.m.

ROLL CALL

Present at the meeting were the following Planning and Zoning Commissioners: Chair Laura Christman, Vice Chair Peter Savoie, Commissioner Jim Rubin, and Commissioner David Wyman.

Present at the meeting were the following staff members: Robert Zuccaro, Community Development Director; Marcus McAskin, Deputy City Attorney; Troy Carmann, City Engineer; and Cesarina Dancy, Community Development Clerk.

Absent from the meeting were Commissioner Steve Szymanski, Commissioner Kassie Jensen and Commissioner Al Blum.

APPROVAL OF MINUTES

Commissioner Wyman made a motion, which was seconded by Vice Chair Savoie, to accept the April 8, 2014 minutes as written. The motion passed unanimously.

Chair Christman requested that the motion in the April 22, 2014 minutes be amended to include that the denial of the request was also based on the fact that the addition of tennis court lights was not in keeping with the Master Plan of the City.

Staff agreed to amend the minutes and present the amended minutes for the next meeting of the Planning and Zoning Commission.

AGENDA ITEMS

Request by St. Mary's Academy for an Expanded Use Permit to Build an Approximately 22,722 Square Foot Community Center Building (Public Hearing)

Mr. Zuccaro stated that St. Mary's Academy is requesting an Expanded Use Permit to build an approximately 22,772 square-foot, two-story community center building. The community center is intended to provide additional instruction space for lower and middle school activities that are currently located in the high school building.

Planning and Zoning Commission Meeting

May 13, 2014

Mr. Zuccaro stated that the applicant's letter of intent states that the expansion is intended to provide additional space for lower and middle school activities that are currently located in the high school building and to provide dedicated middle school foreign language and music and drama spaces.

Mr. Zuccaro displayed a vicinity map of the St. Mary's Academy campus and the adjacent properties. He stated that the St. Mary's Academy campus is zoned R-1, 2 ½-Acre Residential District. Private schools are an allowed use in the R-1 District provided that such use is approved, expanded or increased in accordance with Article XX of the Zoning Ordinance.

Mr. Zuccaro stated that St. Mary's Academy is a private institution with approximately 670 students, grades kindergarten through 12. The campus is 24.67 acres in net area. Surrounding zoning and land uses include R-1 and R-3 zoned residential properties. Access to the property is from multiple driveways connecting to University Boulevard, which borders the campus to the east.

Mr. Zuccaro stated that the last expanded use permit granted to St. Mary's Academy was in 1999 with the addition of the 37,248 square-foot middle school building. He continued that other buildings on campus include the 68,370 square-foot high school building, 20,592 square-foot lower school building, 7,650 square-foot Bishop Evens Sports Center, 8,352 square-foot Sanders House Administration Building, and 1,530 square-foot caretakers house.

Mr. Zuccaro stated that with the 1999 expansion, the parking for the schools was increased from 312 to 332 spaces. Based on the parking calculations made at that time it was determined that the minimum parking requirements were met without the need for approval of a reduction. The enrollment in 1999 was noted as 801 students and a condition of the middle school expansion was that enrollment could not increase by more than 10%, or could not increase less than 10% if that expansion would regularly generate in excess of 100 vehicle trips per day, without further approval through the Expanded Use Permit process.

Mr. Zuccaro outlined the process for obtaining an Expanded Use permit. He stated that St. Mary's Academy first presented to the Planning and Zoning Commission on November 12, 2013.

Mr. Zuccaro displayed a graphic of the campus which indicated the proposed location of the community center. He stated that the proposed building is located south of the existing middle school building, approximately 175 feet from the closest property boundary to the west. The height of the building is proposed at 34 feet and 4 inches above the midpoint elevation. From the finished grade on the west side of the building, the overall height is proposed at 44 feet and 10 inches. Campus-wide, the total proposed finished floor area, including the community center, is 166,520 square feet, resulting in a Floor Area Ratio (FAR) of 15.5%.

Planning and Zoning Commission Meeting

May 13, 2014

Mr. Zuccaro stated that the existing drainage pond has the capacity needed to hold any additional runoff from the new addition.

Mr. Zuccaro stated that the lighting plan which was submitted meets code requirements.

Mr. Zuccaro stated that the applicant has submitted a traffic study, which compared data from 1999 along S. University Boulevard. The study finds that daily traffic volume and peak time traffic volumes have decreased over this period. The study also notes that basic traffic patterns at the entrances and exits to the campus are the same as in 1999, but that improvements have also been made to the configuration of the lower school lot that have expanded capacity on site; thus, reducing vehicle queuing on S. University Boulevard.

Mr. Zuccaro stated that Staff has worked with the applicant to calculate the parking requirements. He stated that the applicant proposes to maintain the current number of parking spaces on campus at 343 and requests a parking reduction of 20%. Based on an analysis of the current and proposed building layout and uses, a total of 427 parking spaces are needed to meet the minimum code requirements. Municipal Code Section 16-16-10(c) allows an exception to be granted up to 40% of the required parking if it is found that the parking needs of the use will be adequately served.

Mr. Zuccaro continued that no new parking or driveways are proposed. There are currently 343 paved and striped parking spaces on campus. He stated that the applicant has requested a reduction based on a limitation of use of the Bishop Evans Gym during the school day, which requires 91 spaces based on minimum zoning requirements for assembly space. Thus, when there is a parking demand for the gym after school hours, parking demands from other uses that occur only during the school hours will not be present.

Mr. Zuccaro stated that in order to ensure an enforceable mechanism to ensure that the Bishop Evans Gym is not used during the school day; Staff recommends a condition of approval that the restriction on concurrent use for this facility be noted on the Expanded Use Plans and in the development agreement prior to the City Council hearing.

Mr. Zuccaro stated that all public hearing requirements were met by the applicant.

Mr. Zuccaro stated that Staff recommends approval of the proposal by St. Mary's Academy with two conditions:

1. Prior to the City Council hearing, the applicant shall provide a note on the site plans and include a provision in the development agreement limiting any special event use of the Bishop Evans Gym during school hours.
2. Prior to the City Council hearing, the applicant shall provide final approval letters from Denver Water, Cherry Hills Village Sanitation District and South Metro Fire Rescue Authority.

Diana Rael, representative for the applicant introduced the team who has been working on the project. Present at the meeting were: Deirdre Cryor, President of St. Mary's Academy; Janet O' Halloran, CEO of St. Mary's Academy; Charlie Arbogast, Director of Advancement of St. Mary's Academy; Michael Hall from Inline Management; Ken Clifford from JVA, Inc.; Michael Roybel from Roybel Corp. Architects; and John Birkey from Norris Design.

Ms. Rael stated that the campus had 95 parking spaces which could be considered flexible. 31 spaces in the high school parking lot, 48 spaces in the lower school gym area, and 16 spaces in the middle school area. She continued that with the inclusion of these spaces a 20% reduction was reasonable.

Ms. Rael stated that she has received a will serve letter from the Cherry Hills Village Sanitation District, and a permit from the South Metro Fire and Rescue. She continued that the plans were in review with Denver Water and she expected to hear from them soon.

Ms. Rael stated that they are waiting on the electrical comments on the building plans and should have any issues addressed in the next week. She continued that the applicant agrees with the conditions of approval.

Ms. Rael thanked Mr. Zuccaro for all of his work on their project.

Chair Christman stated that there were no members of the public present for the public hearing portion of the meeting and closed the public hearing.

Commissioner Rubin stated that the new addition fits well with the campus. He continued that the applicant has addressed the concerns of the commission from the previous meeting.

Vice Chair Savoie asked if the parking conditions would be noted on the site plan and development agreement.

Mr. Zuccaro replied that they would be on the site plan and in the development agreement.

Chair Christman stated that this expansion should not supersede the enrollment limitation from 1999 of 801 students and wanted to make sure this was clear in the development agreement.

Commissioner Rubin moved to recommend approval of the request by St. Mary's Academy for the community center addition with the following conditions:

1. Prior to the City Council hearing, the applicant shall provide a note on the site plans and include a provision in the development agreement limiting any special event use of the Bishop Evans Gym during school hours.
2. Prior to the City Council hearing, the applicant shall provide final approval letters from Denver Water, Cherry Hills Village Sanitation District and South Metro Fire Rescue Authority.

Planning and Zoning Commission Meeting

May 13, 2014

Commissioner Wyman seconded the motion.

The motion passed unanimously.

Vice Chair Savoie made a motion to adjourn, which was seconded by Commissioner Wyman.

The motion passed unanimously.

ADJOURNMENT

The meeting was adjourned at 7:01 p.m.

Laura Christman, Chair

Cesarina Dancy, Community Development Clerk



Cherry Hills Country Club

4125 South University Boulevard
Cherry Hills Village, Colorado 80113-4904
www.chcc.com

PHONE: 303-350-5274
Fax: 303-350-5242
Email: KHood@chcc.com

Kevin Hood
GM / COO

November 8, 2013

To whom it may concern:

Re: Parking needs and the relationship between Cherry Hills Country Club and St. Mary's Academy

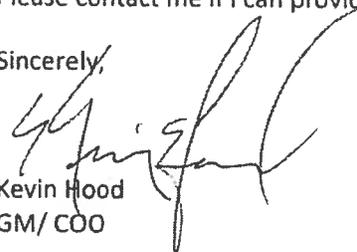
This letter is to communicate the long and mutually beneficial relationship between our two organizations. One of the very important aspects of our partnership includes the need for variable parking for large events. We have supported St. Mary's Academy by providing over-flow parking for events like their Grandparents Day and their Graduation Day.

In return, St. Mary's Academy provides needs for us for large events during our summer months when we cannot fully accommodate parking needs for our guests. Additionally, for events like the US Amateur and the coming BMW Championship we partner with St. Mary's and utilize their parking facilities to ensure adequate parking.

We hope to continue our relationship for the foreseeable future and we are very supportive of their proposed project. We anticipate that the project will enhance the positive effect that St. Mary's Academy has on the community and Cherry Hills Country Club.

Please contact me if I can provide any other information that would be helpful in this matter.

Sincerely,



Kevin Hood
GM/COO



SOUTH METRO FIRE RESCUE AUTHORITY

LIFE SAFETY BUREAU

9195 E Mineral Ave, Centennial, CO 80112

PHONE: 720.989.2230 www.southmetro.org FAX: 720.989.2030

Robert Zuccaro, AICP
Planning Manager
City of Cherry Hills Village
2450 E. Quincy Avenue
Cherry Hills Village, CO 80113

Sent Via E-Mail: rzuccaro@cherryhillsvillage.com

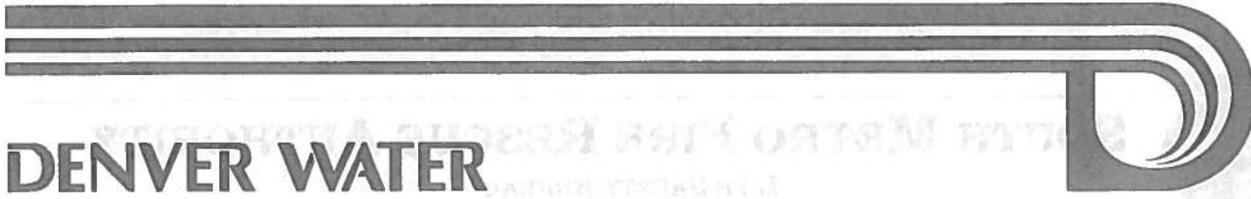
Project Name: **4545 S. University Blvd – St. Mary’s Academy**
Project Type: **Expanded Use Permit for New Building**
Referral Received:
Comments Due: February 5, 2014

SMFRA Review #: **2018114**
Review Date: February 10, 2014
Reviewer: Criss Dickhausen, Plan Reviewer
(720) 989-2246
criss.dickhausen@southmetro.org

Narrative: Applicant is submitting a Sketch Plan application for a new Community Center at St. Mary’s Academy.

Code Reference: **2012 International Fire Code**

South Metro Fire Rescue Authority’s Life Safety Bureau has met with the applicant and has discussed what will need to be submitted (i.e., remote FDC location, fire sprinkler control room location, etc.). An overall utility plan shall be submitted for review and approval by South Metro Fire Rescue Authority. In addition, fire flow information shall be solidified in regard to required fire hydrants once the final total square footage and building construction type is available.



DENVER WATER

January 16, 2014

Kenneth J. Clifford
JVA, Inc.
1319 Spruce St
Boulder, CO 80302

Re: 4545 S UNIVERSITY BLVD, Lot 1 Blk 1, St. Mary's Academy Filing No. 1

Dear Mr. Clifford:

The above described property is in the City of Cherry Hills Water District. This site is eligible to receive water service subject to compliance with Denver Water's Operating Rules, Engineering Standards, regulations and charges and the City of Cherry Hills Water District's regulations and charges. Please check the fire requirements for the proposed development with the Fire Prevention Bureau and the availability of the fire flow from existing mains with Denver Water's Hydraulics Department prior to proceeding with the project.

If there are any questions or concerns regarding the information being provided, please call me at 303-628-6103.

Sincerely,



Valerie L Serna
Plan Review Coordinator III
Sales Administration

Robert Zuccaro

From: CHVSanDist@aol.com
Sent: Monday, February 03, 2014 2:45 PM
To: Robert Zuccaro
Subject: St Mary's Academy - New Building

Rob:

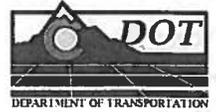
The CHV Sanitation District will not be able to issue a "Will Serve Letter" until revised plans have been submitted and approved. On January 20, 2014, the District informed Ken Clifford at JVS, Inc. of the necessary revisions to the plans. As of today, revised plans have not been submitted. Let me know if you have any questions or need additional information. Thank you.

Kathy

Kathy L. McKune
Cherry Hills Village Sanitation District
303-762-8222
303-619-3354 (Cell)
303-762-8381 (Fax)

STATE OF COLORADO

DEPARTMENT OF TRANSPORTATION



Region 1 Traffic
Access/Utilities Permits
Roadside Advertising
2000 South Holly Street
Denver, Colorado 80222
303-512-4272 FAX 303-757-9886

February 5, 2014

Cherry Hills Village
Attn: Robert Zuccaro
2450 East Quincy Village Colorado 80113

Dear Mr. Zuccaro:

**RE: 4545 SOUTH UNIVERSITY BOULEVARD COMMUNITY CENTER SAINT MARY'S ACADEMY
SH 177 CHERRY HILLS VILLAGE**

Thank you for referring the project for our review. The Colorado Department of Transportation has reviewed the above noted development proposal we have no comments or concerns.

If you have any questions, please contact me at 303-512-4271.

Sincerely,
Bradley T. Sheehan, P.E.
Access Engineer

CHERRY HILLS VILLAGE

COLORADO

2450 E. Quincy Avenue
Cherry Hills Village, CO 80113
www.cherryhillsvillage.com

Village Center
Telephone 303-789-2541
FAX 303-761-9386

ITEM: 10b

MEMORANDUM

TO: HONORABLE MAYOR TISDALE AND MEMBERS OF THE CITY COUNCIL

FROM: LAURA SMITH, CITY CLERK

SUBJECT: COUNCIL BILL 3, SERIES 2014; AMENDING SECTIONS 2-1-10, 2-1-40, AND 2-1-50 OF THE MUNICIPAL CODE CONCERNING ELECTIONS (FIRST READING)

DATE: JUNE 3, 2014

ISSUE

Shall the City Council amend the Code to update election timelines now that regular municipal elections will be held as coordinated elections in November of even-numbered years?

DISCUSSION

Background

In the April 3, 2012 regular municipal election voters approved a ballot issue to amend Section 2.3 of the City Charter to change regular municipal elections from April to November. Regular municipal elections will therefore be coordinated with Arapahoe County.

The State Legislature passed House Bill 13-1303 and House Bill 14-1164 dealing with the state election statutes. These bills address procedures for mail ballot elections, correct durational residency provisions and make other conforming changes consistent with the Uniform Election Code.

Analysis

Staff has determined that several sections in Chapter 2 related to the election timeline need to be changed in light of both the change of regular municipal elections to be coordinated with the County and the passage of HB14-1164 which incorporates new timelines for municipal mail ballot elections into the Colorado Municipal Election Code.

Council Bill 3, Series 2014 proposes several changes:

- The amendment of subsection 2-1-10(b) to clarify that that the City will utilize the Colorado Municipal Election Code for any noncoordinated election and the Uniform Election Code for any coordinated election.
- The deletion of subsections 2-1-10(c) and (d) because the timeline issues that existed with municipal mail ballot elections no longer exist after passage of HB14-1164, and because these timeline issues do not exist in the Uniform Election Code when coordinating with the County.
- Clarification of election timelines to Section 2-1-40, relating to write-in candidate affidavits.
- Clarification of election timelines to Section 2-1-50, allowing for the cancellation of elections when there are no issues on the ballot and no more than one candidate per position.

BUDGET IMPACT STATEMENT

The proposed changes will not have an impact on the budget.

STAFF RECOMMENDATION

"I move to approve Council Bill 3, Series 2014, a bill for an ordinance of the City of Cherry Hills Village amending section 2-1-10 concerning conduct of elections, section 2-1-40 concerning write-in candidate affidavits, and section 2-1-50 concerning cancellation of elections on first reading."

ATTACHMENTS

Exhibit A: Council Bill 3, Series 2014

COUNCIL BILL 3
SERIES OF 2014

INTRODUCED BY: _____
SECONDED BY: _____

**A BILL FOR AN ORDINANCE
OF THE CITY OF CHERRY HILLS VILLAGE
AMENDING SECTION 2-1-10, SECTION 2-1-40, AND SECTION 2-1-50
OF THE MUNICIPAL CODE CONCERNING ELECTIONS**

WHEREAS, the City of Cherry Hills Village ("City") is a home rule municipal corporation organized in accordance with Article XX of the Colorado Constitution; and

WHEREAS, in the April 3, 2012 election City residents approved an amendment to Section 2.3 of the City Charter in order to hold regular municipal elections in November of even numbered years; and

WHEREAS, the City desires to coordinate its elections with Arapahoe County in November when possible to take advantage of lower costs and higher voter turnout; and

WHEREAS, coordinated elections operate with different timelines under the Uniform Election Code of 1992 than noncoordinated elections; and

WHEREAS, the State legislature amended the Colorado Municipal Election Code in 2013 and 2014 to address procedures for mail ballot elections, correct durational residency provisions and to make other conforming changes consistent with the Uniform Election Code; and

WHEREAS, passage of the state legislation necessitates amendments to the election provisions of the City Municipal Code.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CHERRY HILLS VILLAGE, COLORADO, ORDAINS:

Section 1. That Section 2-1-10 of the City of Cherry Hills Village Municipal Code is hereby amended to read as follows:

Sec. 2-1-10. Conduct of elections.

(a) All elections shall be held and conducted in accordance with the provisions contained in the City Charter.

(b) The City is authorized to conduct mail ballot municipal elections and to participate in mail-ballot elections coordinated by Arapahoe County. The City shall utilize the requirements and procedures of the ~~Uniform Election Code of 1992, Articles 1 to 13 of Title 1, C.R.S., in lieu of the Colorado Municipal~~

Election Code of 1965, Section 31-10-101 et seq., C.R.S., with respect to any ~~mail ballot noncoordinated election, and the Uniform Election Code of 1992, Articles 1 to 13 of Title 1, C.R.S. with respect to any coordinated election.~~

~~(c) The following time periods and procedures shall apply to the City mail ballot elections except those conducted as part of a coordinated election:~~

~~A. Nomination Petitions.~~

First day to circulate nomination petition	57 days before election
Last day to circulate nomination petition	30 days before election
Nomination petitions due to City Clerk	30 days before election
Last day to amend nomination petition	32 days before election

~~B. Withdrawal of Candidacy.~~

~~Last day candidate can withdraw 32 days before election~~

Section 2. That Section 2-1-40 of the City of Cherry Hills Village Municipal Code is hereby amended to read as follows:

Sec. 2-1-40. Write-in candidate affidavit.

No write-in vote for any City elective office shall be counted unless an affidavit of intent has been filed with the City Clerk by the person whose name is written in prior to twenty (20) days before the day of a polling place municipal election, or ~~thirty-two (32) days before the day of a mail ballot municipal election as specified in the Municipal Election Code or Uniform Election Code as applicable~~, indicating that such person desires the office and is qualified to assume the duties of the office, if elected.

Section 3. That Section 2-1-50 of the City of Cherry Hills Village Municipal Code is hereby amended to read as follows:

Sec. 2-1-50. Cancellation of election.

~~(a) Whenever the only matter before the voters is the election of persons to the positions of City Council Member and Mayor and if, at the close of business on the nineteenth day before said polling place municipal election, or at the close of business on the twenty-ninth day before said mail ballot municipal election, there is not more than one (1) candidate per seat to be filled at such election, including candidates filing affidavits of intent as set forth in Section 2-1-40 above, the City Clerk, if instructed by resolution of the City Council either before or after such date, shall cancel the election and by said resolution declare the candidates elected. A regular or special municipal election may be cancelled when the ballot contains no questions for the electorate to determine the~~

passage or defeat thereof and there is not more than one (1) candidate per seat to be filled at such election, including candidates filing affidavits of intent as set forth in Section 2-1-40. The City Council may by resolution delegate to the City Clerk the authority to cancel said elections on the nineteenth day before a polling place election, the twenty-ninth day before a mail ballot election, or as specified in the Uniform Election Code for coordinated elections, and to declare the candidates elected. Upon such declaration, the candidates shall be deemed elected.

(b) Notice of such cancellation of the municipal election shall be published forthwith in the legal newspaper of the City and posted at the village center in order to inform the electorates.

Adopted as Ordinance No. __, Series 2014, by the City Council of the City of Cherry Hills Village, Colorado this __ day of _____, 2014.

Douglas M. Tisdale, Mayor

ATTEST:

Approved as to form:

Laura Smith, City Clerk

Linda C. Michow, City Attorney

Published in the Villager
Published Two Times: _____
Legal # _____

**CHERRY HILLS VILLAGE
COLORADO**

2450 E. Quincy Avenue
Cherry Hills Village, CO 80113
www.cherryhillsvillage.com

Village Center
Telephone 303-789-2541
FAX 303-761-9386

ITEM: 11c(i)

MEMORANDUM

TO: HONORABLE MAYOR TISDALE AND MEMBERS OF THE CITY COUNCIL
FROM: LAURA SMITH, CITY CLERK
SUBJECT: PLANNING AND ZONING COMMISSION VACANCY
DATE: JUNE 3, 2014

Planning and Zoning Commissioner Kassie Jensen resigned on May 28th.

Staff is concerned with achieving a quorum for the meetings that are held prior to Council appointing a new commissioner.

The current group of applicants consists of:

- Two applicants are interested in both BOAA and P&Z and were involved in the recent recruitment process conducted by Councilors Klasina VanderWerf and Alex Brown
- Two applicants are not interested in serving on BOAA but have expressed continued interest in P&Z
- Five applicants submitted applications in 2012 or prior and have not yet been contacted by staff

Staff is seeking direction from Council on this issue. Due to staff's concern with achieving a quorum with the current Commission, staff requests that Council consider appointing a new commissioner from the current group of applicants rather than initiating a recruitment process.